

Zone Your
ST. CATHARINES

Zone Your St.Catharines

ZONING BY-LAW

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PREAMBLE

Introduction

This preamble explains the purpose of this Zoning By-law and how it should be used. This preamble does not form part of the zoning by-law passed by Council but is for the Corporation of the City of St. Catharines (the “City”) intended only to make the zoning by-law more understandable and easier to reference.

Purpose of this Zoning By-law

The purpose of this Zoning By-law is to implement the policies of the City of St. Catharines Garden City Plan, which is the City’s Official Plan. The Garden City Plan contains general policies that affect the use of land throughout the municipality. These policies specify where certain land uses are permitted and, in some instances, specify what regulations should apply to the development of certain lands. This Zoning By-law replaces the City’s existing zoning by-laws which are referenced in Section 1.1.12 of this By-law.

The Garden City Plan is a general document that is not intended to regulate every aspect of the built-form on a private lot. In the Province of Ontario, this is the role of the zoning by-law. Once an Official Plan, our Garden City Plan, is in effect any zoning by-law passed by Council must conform to it. For example, if the Garden City Plan stated that lands in the vicinity of a significant natural feature are to remain in its natural state, the zoning by-law would prohibit the construction of buildings or structures on those lands.

The statutory authority to zone land is granted by the Planning Act R.S.O. 1990, c.p. 13 as amended (the “Planning Act”). The Planning Act specifies what a by-law can regulate. A zoning by-law can:

- prohibit the use of land or buildings for any use that is not specifically permitted by the by-law;
- prohibit the construction or siting of buildings and structures on a lot except in locations permitted by the by-law;
- regulate the type of construction and the height, bulk, location, size, floor area, spacing, and use of buildings or structures;
- regulate the minimum frontage and depth of a parcel of land;
- regulate the proportion of a lot that any building or structure may occupy;
- regulate the minimum elevation of doors, windows or other openings in buildings or structures;
- require parking and loading facilities be provided and maintained for a purpose permitted by the by-law; and
- prohibit the use of lands and the construction of buildings or structures on land that has environmental or archaeological constraints is.

Description of By-Law Components

This By-Law contains 15 sections which together, provide the standards applicable to all lands within the municipality.

The purpose of each of these sections is described below.

SECTION 1 ADMINISTRATION AND INTERPRETATION

This section of the By-law specifies:

- what lands are governed by this By-law;
- that every parcel of land in the area covered by this By-law shall conform and comply with this By-law; and,
- what penalties can be levied against a person or a corporation if this By-law is contravened.

SECTION 2 GENERAL PROVISIONS

This section contains a number of regulations that apply to certain types of uses, buildings or structures regardless of where in the municipality or in what zone they are located. For example, this section contains provisions dealing with the construction of accessory buildings in any zone or provisions to regulate the operation of home based business.

SECTION 3 GENERAL PARKING PROVISIONS

Parking facilities are required for certain uses within the municipality. This section provides the requirements for these facilities including such regulations such as the number of parking spaces required for residential and commercial uses, accessible parking spaces, minimum parking space size, bicycle parking facilities, and the location of parking facilities on a lot.

SECTION 4 ESTABLISHMENT OF ZONES

This section establishes the zones that apply to the lands covered by this By-law and a list of uses permitted in each zone.

SECTIONS 5 TO 11 ZONE PROVISIONS

These sections list the uses that are permitted in each zone. If a use is not specifically listed as a permitted use in a Zone then it is not permitted. In some zones certain uses are only permitted under specific circumstances or only together with other uses.

This section also contains a number of regulations that control the placement, character of a building on a lot. This includes regulations governing lot size, lot frontage, and building height, etc.

SECTIONS 12 DEFINITIONS

Definitions in this section will provide clarity and consistency in the implementation of this By-law.

SECTION 13 SPECIAL PROVISIONS

Section 13 provides a consolidated list of properties that have special provisions that are exceptions to the normal zone requirements of this By-law. Land subject to special provisions are identified on map schedules.

SECTION 14 HOLDING

Section 14 provides a consolidated list of properties that have a Holding provision where there are specific conditions that must be satisfied prior to development or re-development. Lands subject or holding provisions are identified on map schedules.

SECTION 15 MAP SCHEDULES

This section contains maps of the City with the zoning of each property shown.

SECTION 16 APPENDICES

The appendices contain a series of drawings, illustrations and maps. The appendices do not constitute part of this By-law but contain background information which shall be applied in the interpretation and implementation of this By-law.

SECTION 1 ADMINISTRATION AND INTERPRETATION

1.1 Administration and Interpretation

1.1.1. Administration

This Zoning By-law shall be administered and enforced by the City and applies to all lands within the City of St. Catharines.

1.1.2. Conformity and Compliance with By-law

No person shall change the use of any building, structure or land; erect or use any building or structure; or occupy any building or land except in accordance with the provisions of this By-law. Where any buildings or land are used for more than one purpose, all provisions of this By-law relating to each separate use shall be applied.

Any use not specifically permitted by this By-law will not be permitted in the City of St. Catharines. A use defined in Section 12 but not identified as a permitted use in any zone or by special provision is not permitted.

1.1.3. Interpretation

Nothing in this By-law shall serve to relieve any person from any obligation to comply with the requirements of any other by-law of the City, or any other regulation, requirement or standard of upper tier governments and agencies, including but not limited to the Regional Municipality of Niagara, Province of Ontario, Government of Canada, the Canadian National Railway, Niagara Peninsula Conservation Authority, the Ministry of Transportation, the Ministry of Agriculture Food and Rural Affairs, Ministry of the Environment, Niagara Escarpment Commission, and other Provincial and Federal departments and agencies.

1.1.4 Calculation of Density

Density is calculated as follows:

$$\text{Density} = \frac{\text{number of dwelling units}}{\text{Net lot area in ha}}$$

1.1.5 Lots with Split Zoning

Where a lot is divided into two or more zones the zone boundary dividing the lot shall be deemed to be a lot line for purposes of calculating required yards and coverage and each portion of the lot shall be in accordance with the provisions of this By-law for the applicable zone.

1.1.6 Zone Schedules

The zones and zone boundaries are shown on the Schedules attached to this By-law. The Schedules form part of this By-law.

1.1.7 Interpretation of Zone Boundaries

When determining the boundary of any zone as shown on the Schedules forming part of this By-law the following shall apply:

- a) A boundary indicated as following a highway, street, lane, railway right of way, or utility corridor shall be construed to be the centreline of such highway, street, lane, railway right-of-way, utility corridor.
- b) A boundary indicated as following a shoreline or a top of bank shall follow such shoreline or top of bank. In the event of a change in the shoreline or top of bank the boundary shall move with the actual shoreline or top of bank.

- c) A boundary indicated as following lot lines or the municipal boundaries of the City of St. Catharines shall follow such lot lines or municipal boundary.
- d) Where none of the above apply, the zone boundary shall be scaled from the Schedule(s).

1.1.8 Building Permits

The requirements of this By-law must be met before a building permit is issued in accordance with *the Building Code Act, 1992 S.O. 1992, c. 23* as amended (*the Building Code*) for the construction, addition to or alteration of any building or structure.

1.1.9. Enforcement

Any person or corporation that contravenes any provision of this By-law is guilty of an offense and upon conviction is liable to the fine as provided for in the *Planning Act, R.S.O. 1990, Chapter P. 13* as amended (*the Planning Act*).

1.1.10 Severability

A decision of a court that one or more of the provisions of this By-law are invalid in whole or in part does not affect the validity, effectiveness or enforceability of the other provisions or parts of the provisions of this By-law.

1.1.11 Effective Date

This By-law shall come into force the day it is passed.

1.1.12 Repeal of Former By-law

- a) City of St. Catharines By-law 88-72 (Zoning Area No. 1) is repealed in its entirety, including all of the Sections, Schedules and amendments that apply to all of the lands subject to By-law 88-72.
- b) City of St. Catharines By-law 68-121 (Zoning Area No. 2) is repealed in its entirety, including all of the Sections, Schedules and amendments that apply to all of the lands subject to By-law 68-121.
- c) City of St. Catharines By-law 66-165 (Zoning Area No. 3) is repealed in its entirety, including all of the Sections, Schedules and amendments that apply to all of the lands subject to By-law 66-165.
- d) City of St. Catharines By-law 64-270 (Zoning Area No. 4) is repealed in its entirety, including all of the Sections, Schedules and amendments that apply to all of the lands subject to By-law 64-270.
- e) City of St. Catharines By-law 6756 (Zoning Area No. 5) is repealed in its entirety, including all of the Sections, Schedules and amendments that apply to all of the lands subject to By-law 6756.
- f) City of St. Catharines By-law 83-211 (Zoning Area No. 6) is repealed in its entirety, including all of the Sections, Schedules and amendments that apply to all of the lands subject to By-law 83-211.
- g) City of St. Catharines By-law 62-86 (Zoning Area No. 7) is repealed in its entirety, including all of the Sections, Schedules and amendments that apply to all of the lands subject to By-law 62-86.
- h) City of St. Catharines By-law 6609 (Zoning Area No. 8) is repealed in its entirety, including all of the Sections, Schedules and amendments that apply to all of the lands subject to By-law 6609.
- i) City of St. Catharines By-law 64-207 (Zoning Area No. 9) is repealed in its entirety, including all of the Sections, Schedules and amendments that apply to all of the lands subject to By-law 64-207.

- j) City of St. Catharines By-law 84-119 (Zoning Area No. 10) is repealed in its entirety, including all of the Sections, Schedules and amendments that apply to all of the lands subject to By-law 84-119.
- k) City of St. Catharines By-law 71-224 (Zoning Area No. 11) is repealed in its entirety, including all of the Sections, Schedules and amendments that apply to all of the lands subject to By-law 71-224.

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SECTION 2 GENERAL PROVISIONS

The General Provisions of this By-law shall apply to all zones unless specifically stated otherwise.

2.1 Accessory Buildings and Structures

Buildings and structures accessory to a permitted use are permitted in all zones, and except as noted elsewhere in this By-law, shall be subject to the following provisions.

Accessory buildings and structures shall not:

- a) Be used as a dwelling unit, except where permitted elsewhere in this By-law;
- b) Be permitted in a required front yard or exterior side yard;
- c) Be located within any sight triangle;
- d) Exceed a building height of 4.5 m;
- e) Exceed 10% of the total lot area. This provision does not apply to in-ground swimming pools;
- f) Be less than 2 m from a main building;
- g) Be less than 0.6 m from an interior side or rear yard.

2.1.1 Corner Lot Accessory Buildings and Structures

In addition to the provisions in Section 2.1 on a corner lot accessory buildings and structures shall be located no closer to the lot line than the main building is to the lot line.

2.1.2 Pools

In addition to the provisions in Section 2.1 the maximum height of an above ground pool including deck and guard rail shall be 2 m from grade to the top of the guard rails.

2.1.3 Detached Garage

A detached garage shall be located at least 1 m behind the front wall of the dwelling.

2.2 Accessory Uses to a Dwelling

2.2.1 Interior Accessory Dwelling Unit

One interior accessory dwelling unit is permitted in any detached dwelling, semi-detached dwelling unit or street townhouse dwelling unit other than in a Private Road Development or an Agriculture-(A1) zone provided the following:

- a) The interior accessory dwelling unit is entirely within the exterior walls of the principal building;
- b) Maximum size of an interior accessory dwelling unit is 60 m² or 40% of the principal dwelling unit floor area, whichever is less;
- c) There shall be no parking required for an interior accessory dwelling unit.
- d) The lot complies with all other provisions of this By-law.

2.2.2 Detached Accessory Dwelling

Where permitted by Section 13 Special Provision, detached accessory dwelling units shall be subject to Section 2.1 b) through g) and Section 2.1.1 along with the following provisions:

- a) Maximum floor area of 105 m² or 40% of the floor area of the principal dwelling unit whichever is the less;
- b) One parking space shall be required for the detached accessory dwelling unit;

2.2.3 Only One Accessory Dwelling Unit

Only one interior accessory or one detached accessory dwelling unit is permitted on a lot.

2.2.4 Home Based Business

A home based business is permitted within a residential dwelling unit subject to the following regulations:

- a) Uses not permitted:
 - i. automotive related uses
 - ii. small engine repair
 - iii. kennel or pet services
- b) No machinery or processes which emit noise, vibration, glare, fumes, odour, dust, radio or television interference beyond the premises are permitted in conjunction with a home based business;
- c) Maximum floor area 25% of the total dwelling unit floor area not including an attached garage to a maximum of 40 m² ;
- d) There shall be no outdoor storage of materials, equipment or containers, outdoor equipment, enclosures or other outdoor activities solely associated with the home based business;
- e) The home based business shall be conducted by a person(s) residing in the dwelling;
- f) Sales of goods that are incidental to the home based business shall be permitted;
- g) A maximum of one hairdressing chair is permitted.

2.2.4.1 Bed and Breakfast

A bed and breakfast is a permitted use within a detached dwelling subject to Section 2.2.4 and the following additional regulations:

- a) A bed and breakfast use may employ one person who is not a resident of the dwelling;
- b) Notwithstanding Section 2.2.4. c) to the contrary a maximum of 4 rental rooms are permitted;
- c) Parking shall be provided on the same lot at the rate of 1 space per rental room in addition to the parking requirement for the dwelling. Tandem parking is permitted;
- d) The bed and breakfast shall provide meals only to guests of the bed and breakfast.

2.2.4.2 Home Daycare

A home daycare is permitted subject to Section 2.2.4 and the following additional regulations:

- a) The maximum number of clients is five;
- b) Notwithstanding Section 2.2.4 d) an outdoor recreation area is permitted.

2.3 Buildings on One Lot

Except where otherwise permitted in Private Road Developments only 1 principal building of the following types shall be permitted on 1 lot:

- a) Detached dwelling;
- b) Semi-detached dwelling;
- c) Duplex dwelling;
- d) Triplex dwelling;
- e) Fourplex dwelling.

2.4 Common Walls on Lot Lines

The minimum interior side yard and/or rear yard shall be zero m for common walls of semi-detached dwelling units, fourplex dwelling units, and street townhouse dwelling units.

2.5 Sight Triangle

Sight triangles are required on all corner lots in all zones.

The area within a sight triangle shall be determined by measuring from the point of intersection of lot lines on a corner lot the distance along each such lot line as set out in Section 2.5.1, and joining such points with a straight line.

2.5.1 Sight Triangle Table

Sight triangles shall be established in accordance with the following:

Zone	Minimum Distance along Each Lot Line from Corner
Residential Zones	6 m
All Other Zones	7.5 m

2.6 Lot Frontage on Public Roads

- a) No person shall develop or construct a building or structure or otherwise use any lot unless the lot fronts on a public road.
- b) Subsection a) does not apply to a lot used for:
 - i. a utility installation;
 - ii. a cemetery;
 - iii. a conservation/natural area.
- c) Lot frontage conservation shall be measured:
 - i. 6 m back from the front lot line;
 - ii. parallel to the front lot line or the chord if the front lot line is a curve.

2.7 Height

2.7.1 Where Height is Measured

Height is measured from grade at the principal entrance of the building.

2.7.2 How Height is Measured

- a) For a Principal Building
 - i. The mid-point between the eaves and the ridge of a pitched roof or highest point of the roof surface of a flat roof.
- b) For an Accessory Building and Structure
 - i. in Residential Zones – highest point of the roof.
 - ii. in all other zones – mid-point between the eaves and the ridge of a pitched roof or the highest point of the roof surface of a flat roof.

2.7.3 Height Exceptions

The height regulations of this By-law shall not apply to spires, water tanks, flag poles, communication towers, skylights, roof top mechanical equipment or elevator enclosures.

2.8 Operating Apparatus

The following provisions shall apply to all residential zones and lands abutting a residential zone. Operating apparatus shall:

- a) Be setback a minimum of 0.6 m from any rear and side lot line;
- b) Be permitted in a front yard;
- c) Be within 0.5 m of the main front building wall when located in the front yard.

2.9 Outdoor Storage

Where permitted, outdoor storage and garbage storage areas shall be:

- a) Located in an interior side yard or a rear yard;

2.10 Permitted Encroachments

Except where otherwise permitted in this By-law every part of any required yard for a principal building shall be open and unobstructed from the ground to the sky by any structure except for:

2.10.1 General Structures

Structure Type	Yard Permitted	Maximum Projection
Television and Radio Towers and Antennas, Satellite dishes	Interior and exterior side, Rear	1 m
Eaves and Gutters	All	to be within 0.15 m of the lot line
Uncovered Stairs or Ramps to first Storey	All	to lot line
Chimneys	All	0.6 m
Fire Escapes and Exterior Staircases	Interior and exterior side Rear	1.2 m
Cantilever – Walls or Windows	All	0.3 m and no greater than 50% of the total area of the wall face
	Front and Rear	0.6 m and no greater than 25% of the total area of the wall face

2.10.2 Platform Structures

	Height		
	Height above grade to 0.6 m	Height above grade more than 0.6 m and less than 1.2 m	Height above grade more than 1.2 m
Minimum Setback from Exterior Side Lot Line	2.5 m	3.5 m	Must meet principal building setbacks
Minimum Setback from Interior Side Lot Line	Must meet principal building setbacks, except for townhouse and semi-detached dwellings; townhouse and semi-detached dwellings – zero m		
Minimum Setback from Rear Lot Line	1.8 m	3 m	4.5 m
Minimum Setback from Front Lot Line	3 m	3 m	Must meet principal building setbacks
Maximum Area	50% of yard in which it is located	50% of yard in which it is located	30 m ²

2.10.3 Enclosed Structures

Any enclosed platform structures, enclosed steps, or enclosed barrier-free ramp is deemed to be part of the building to which it is attached and shall meet all required yard setbacks thereof.

2.11 Temporary Buildings and Structures

Notwithstanding any other provisions of this By-law, land may be used for buildings, structures, or parts thereof, constructed or used for a temporary period, for a construction camp, construction trailer, sales trailer, scaffold or other building or structure incidental to ongoing construction on the lot which has neither been finished nor abandoned.

2.12 Model Homes

Model homes shall be permitted subject to the following:

- a) The lands on which the model homes are to be constructed have received draft plan approval under the provisions of the *Planning Act*.
- b) The lands are zoned to permit the proposed use.
- c) The location of the model homes shall comply with the provisions of this By-law upon registration of the plan of subdivision.
- d) The number of model homes for any draft approved plan of subdivision shall not exceed the lesser of six (6) dwelling units or 10% of the total number of lots.

2.13 Community Gardens

Community gardens shall be permitted in all zones except the Conservation/Natural Area Zone (G1).

2.14 Non-Complying Buildings and Lots

2.14.1 Existing Undersized Lots

Notwithstanding the provisions of this By-law to the contrary, a lot held in separate ownership from adjoining parcels on the date of the passing of this By-law, or a lot as shown on any plan of subdivision registered prior to the passing of this By-law not in compliance with the minimum lot frontage and/or lot area requirements by this By-law may be used for a purpose permitted in the zone. All other applicable provisions in this By-law shall be complied with.

2.14.2 Lots Reduced by Public Acquisition

Where the area of a lot is reduced by means of an acquisition by a public agency and where such acquisition causes the lot or any building or structure existing lawfully on the lot on the date of such acquisition not to comply with the requirements of this By-law, the lot and/or any building(s) or structure(s) shall be deemed to comply with this By-law.

A building or structure may be constructed on a lot as reduced, subsequent to the date of such acquisition, provided that all other provisions of this By-law are met.

Where a required yard has been reduced through such acquisition nothing shall prevent an addition to a building or structure, as long as the addition does not further reduce the established yard.

2.14.3 Replacing or Restoration to a Safe Condition

Nothing in this By-law shall apply to prevent the strengthening or restoration to a safe condition or replacement of any existing building or structure, provided that such strengthening, restoration or replacement will not increase the height, size, volume or change the use of such building or structure unless in compliance with this By-law.

2.14.4 Rebuilding and Extensions

Notwithstanding the provisions of this By-law, a building or structure constructed prior to the date of passing of this By-law and which has less than any of the yard requirements of this By-law may be enlarged, repaired or renovated, provided that the enlargement, repair or renovation does not further reduce the existing yard(s).

2.15 Non-Conforming Uses

- a) This By-law shall not prevent the use of any land, building or structure for any purpose prohibited herein if such land, building or structure was lawfully used for such purposes on the day of the passing of this By-law provided that such land building or structures continues to be used for that purpose.
- b) This By-law shall not prevent the construction or use for a purpose prohibited herein of any building or structure for which a building permit has been issued in accordance with the *Building Code Act* prior to the day of the passing of this By-law as long as, when constructed, the building or structure is used and continues to be used for the purpose for which it was constructed.

SECTION 3 GENERAL PARKING PROVISIONS

3.1 Non-Complying Parking

Notwithstanding the provisions of this By-law any use existing prior to the date upon which this By-law comes into force and effect, for which parking spaces have been provided, shall be deemed to conform with the parking requirements of this By-law for providing parking spaces.

3.2 Parking to be Provided on the Same Lot

Required parking shall be provided on the same lot as the use requiring the parking.

3.3 Parking Area

No person shall park, permit or cause to be parked a motor vehicle, recreation vehicle, boat, recreation trailer, or a utility trailer on lands other than in a parking area that complies with the provisions of this By-law.

3.4 Parking Area Surface

Every parking area, loading space and driveway connecting a parking area to a street shall be maintained with a stable, hard surface.

3.5 Encroachment into Yards

A parking space or parking area is permitted within any yard but is not permitted to encroach into any required landscape buffer.

3.6 Parking Space Dimensions

	Min. Width (m)	Min. Depth (m)	Conditions
Standard Parking Space	2.6	5.5	--
Standard Parking Space Obstructed on Two Sides	3.5	5.5	abutting any wall, column or structure on both sides ^(a)
Standard Space Obstructed on One Side	3.0	5.5	abutting any wall or column, or structure on one side ^(a)
Accessible Space	5.2	5.5	--
Two (2) Accessible Spaces Side by Side	2.6 ea.	5.5	2.6 m common space between accessible spaces

3.6.1 Footnote for 3.6 Parking Space Dimension

a) Within 1 m of the end of the parking space and within 0.3 m of side of the parking space.

3.7 Accessible Parking

Accessible parking spaces shall be provided at the following rate:

Number of Required Standard Parking Spaces	Number of Accessible Parking Spaces	Number of Required Standard Parking Spaces	Number of Accessible Parking Spaces
5 – 25	1	151 – 200	6
26 – 50	2	201 – 300	7
51 – 75	3	301 – 400	8
76 – 100	4	401 – 500	9
101 -150	5	501 - 1000	10
1001 and over	20 plus 1 for each 100 over 1000		

3.7.1 Accessible Parking Exemption

Notwithstanding Section 3.7, any parking area with 5 or fewer parking spaces, or any residential development where required parking is provided in an exclusive use private driveway to the dwelling unit are exempt from providing accessible parking in accordance with Section 3.7.

3.8 Residential Parking Coverage

On a residential lot with 4 or fewer dwelling units the following provisions shall apply:

	Front Yard	Exterior Side Yard
Maximum Parking Area Coverage	50 %	50%
Maximum Width	6m or 50% of lot frontage, whichever is less	6 m or 50% of lot frontage, whichever is less

3.8.1 Overall Parking Area Coverage

The maximum parking area coverage shall not exceed 20% of the total lot area, under any circumstances.

3.9 Large Motor Vehicle Prohibitions

No person shall in any Residential Zone or Mixed Use Zone use any lot for parking or storage of any motor vehicle in excess of 3,600 kg gross vehicle weight unless the vehicle is a delivery vehicle temporarily parked in the course of its normal delivery duty.

3.10 Accessory Parking Structures

Accessory parking structures shall comply with the applicable principal use zone requirements of this By-law.

3.11 Location of Loading Spaces

Loading spaces shall be located entirely on the same lot as the building for which such loading spaces are required, and shall not encroach into any required driveways, parking area or internal roads. Loading spaces shall be located in an interior side yard or rear yard and be no closer to the road than the main building is to the road.

3.11.1 Loading Spaces Abutting a Residential Zone

No loading space shall be closer than the minimum building setback to a lot line that abuts a Residential zone.

3.12 Calculation of Parking Requirement

The calculation of the minimum number of required parking spaces shall be rounded to the nearest whole number.

3.13 Required Parking

3.13.1 Residential Uses

Permitted Uses	Min. Parking Per Dwelling Unit
Apartment Building	1.5
Apartment Dwelling Unit within a Mixed Use Building ^(b)	1
Dwelling, Detached	1
Dwelling, Duplex	1
Dwelling, Fourplex	1
Dwelling, Semi-Detached	1
Dwelling, Triplex	1
Long Term Care Facility	0.3 per dwelling unit or bed
Private Road Development	1.5
Townhouse, Stacked	1
Townhouse, Street	1

3.13.2 Non-residential Uses

PERMITTED USES	Min. 1 Parking Space Per 'x' m ² of gross floor area or as otherwise noted	Max. 1 Parking Space Per 'x' m ² of gross floor area or as otherwise noted
Adult Oriented Entertainment Establishment	20	n/a
Animal Care Establishment	20	n/a
Bulk Fuel Depot	100	n/a
Cultural Facility	65	n/a
Contractor's Yard	100	n/a
Day Care	25	n/a
Golf Course and Driving Range	18 per 9 holes of golf plus 1 per 27 m ² of club house	n/a
Heavy Equipment Sales and Service	35	n/a
Hospital	50	n/a
Hotel / Motel	1 per guest room	n/a
Industry, Heavy	100	n/a

PERMITTED USES	Min. 1 Parking Space Per 'x' m ² of gross floor area or as otherwise noted	Max. 1 Parking Space Per 'x' m ² of gross floor area or as otherwise noted
Industry, Light	100	n/a
Major Transit Station	20	n/a
Marina	.6 per boat slip	n/a
Motor Vehicle Gas Station	20	n/a
Motor Vehicle Repair Garage ^(a)	20	n/a
Motor Vehicle Sales / Rental and Service Centre	30	n/a
Nightclub	1 per 4 persons of the maximum occupant load	n/a
Offices	28	n/a
Place of Assembly / Banquet Hall ^(c)	20	3
Place of Worship ^(c)	20	3
Recreation Facility ^(c)	20	n/a
Research Facility	100	n/a
Restaurant	20	n/a
Retail Store	20	n/a
Service Commercial	20	n/a
Shopping Centre, less than or equal to 4,645 m ² gfa ^(d)	20	n/a
Shopping Centre, greater than 4,645 m ² but less than 33,000 m ² gfa ^(d)	35	20
Shopping Centre, equal to or greater than 33,000 m ² gfa ^(d)	26	20
Theatre	1 per 4 seats	n/a
Transportation Depot	100	n/a

3.13.3 Footnotes for Section 3.13.1 and 3.13.2

- a) May be provided in tandem
- b) No parking space required for the first 4 apartment dwelling units
- c) Applies only to portion of building dedicated to assembly of persons.
- d) Gross floor area for shopping centres shall not include the interior common mall area

3.13.4 Pod Parking Areas

Where more than 200 parking spaces are provided, pod parking areas are required. Not more than 200 parking spaces shall be provided in a parking pod. All parking pods must be separated by a landscaped buffer a minimum width of 4 m. Where there is a pedestrian walkway included in a landscaped buffer the minimum width of the landscape buffer shall be 6 m.

3.14 Landscape Provisions for Parking Lots

3.14.1 Landscape Provisions Table

A landscape buffer must be provided between the perimeter of any parking area and a lot line in accordance with the following table:

	Parking lot with 20 or fewer parking spaces	Parking lot with more than 20 parking spaces but fewer than 100	Parking lot with 100 or greater parking spots
Lot Line Abutting a Street	3 m	3 m	4 m
Lot Line Not Abutting a Street	-	3 m	3 m
Lot Line Abutting a Residential Zone	3 m	3 m	4 m

3.14.2 Minimum Landscaped Open Space Within Parking Areas

In addition to the landscape buffer, a minimum landscaped open space of 10% of the parking area shall be required within all parking areas 200 m² in area or greater.

3.15 Drive-Thru Facility

- a) A drive-thru facility, including stacking lanes and service areas shall not be located between the face of the building and a public road.
- b) A drive-thru facility shall be no closer than 7.5 m to a Residential or Institutional Zone.

3.15.1 Drive-Thru Facility Stacking Lanes

The minimum number of stacking lane parking spaces for drive-thru facilities shall be:

Use	Minimum number of stacking lane tandem parking spaces
Restaurant	10 spaces
All other uses	3 spaces

3.16 Bicycle Parking Spaces

3.16.1 Bicycle Parking Spaces

- a) Must be located on the same lot as the use or building for which it is provided.

b) Shall not be located in a required landscape buffer.

3.16.2 Required Bicycle Parking

Use	Minimum Number of Bicycle Parking Spaces
Apartment Building with 10 or more dwelling units	6 spaces plus 1 for every additional 10 apartment dwelling units above 20
Place of Assembly / Banquet Hall, Recreation Facility, Place of Worship ^(a)	1 space per 1000 m ² gfa
School – Elementary/Secondary	1 space per classroom
Retail and Service Commercial	1 space per 1000 m ² gfa
Office	1 space per 1000 m ² gfa
Shopping Centre	1 per 1000 m ² gfa

3.16.3 Footnotes for Section 3.16.2

a) Applies only to portion of building dedicated to assembly of persons.

3.17 Commercial Parking Lot

Where permitted by Section 13 Special Provisions a commercial parking lot shall have a minimum lot frontage of 12 m and shall be subject to all other provisions of this By-law.

SECTION 4 ESTABLISHMENT OF ZONES

4.1 List of Zone Names and Symbols

The following zones are hereby established and they are referred to name or by the symbol set opposite the name of the zone below:

Zone Symbol	Zone Name
R1	Low Density Residential - Suburban Neighbourhood
R2	Low Density Residential - Traditional Neighbourhood
R3	Medium Density Residential
R4	High Density Residential
C1	Local Convenience Commercial
C2	Community Commercial
C3	Arterial Commercial
C4	Major Commercial
C5	Downtown Commercial Core
C6	Downtown Traditional Main Street
E1	Business Commercial Employment
E2	General Employment
M1	Medium Density Mixed Use
M2	Medium/High Density Mixed Use
M3	High Density Mixed Use
G1	Conservation / Natural Area
G2	Minor Green Space
G3	Major Green Space
I1	Local Neighbourhood Institutional
I2	Community Institutional
I3	Major Institutional
A1	Agriculture
A2	Agriculture Only
A3	Agriculture Commercial / Industrial

Uses and regulations specific to each zone are set out in Sections 5 to 11.

4.2 Uses and Zones

The following sets out the uses permitted within the zones contained in this By-law. The table must be read in conjunction with the regulations for each zone as established in Sections 5 to 11. Other uses may be permitted by special provisions as set out in Section 13 of this By-law.

PERMITTED USES	ZONES																								
Adult Oriented Entertainment Establishment											E1	E2													
Agricultural Farm Related Commercial or Industrial Use																									A3
Agriculture																							A1	A2	A3
Agri-tourism / Value Added																							A1 ^(a)		
Animal Care Establishment					C1	C2	C3	C4	C5	C6	E1 ^(a)	E2 ^(a)	M1	M2	M3										
Apartment Building			R3	R4		C2		C4	C5				M1	M2	M3						I2				
Boat Ramp																	G1	G2	G3						
Bulk Fuel Depot												E2													
Car Wash						C2	C3	C4			E1	E2	M1												
Cemetery																		G2	G3						
Commercial Parking Structure						C2	C3	C4	C5	C6															
Concession Stand																		G2 ^(a)	G3 ^(a)						
Conservation / Natural Area																	G1	G2	G3						

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PERMITTED USES	ZONES																								
Contractor's Yard												E2													
Cultural Facility					C1	C2	C3	C4	C5	C6			M1	M2	M3			G3	I1	I2					
Day Care					C1	C2	C3	C4	C5	C6			M1	M2	M3				I1	I2	I3				
Dwelling Unit(s), Apartment					C1	C2		C4	C5	C6			M1	M2	M3										
Dwelling, Detached	R1	R2	R3											M2					I1	I2		A1			
Dwelling, Duplex		R2	R3											M2						I2					
Dwelling, Fourplex	R1	R2	R3	R4									M1	M2	M3				I1	I2					
Dwelling, Semi-Detached	R1	R2	R3											M2					I1	I2					
Dwelling, Triplex		R2	R3	R4									M1	M2	M3					I2					
Emergency Service Facility							C3	C4	C5	C6			M1	M2	M3				I1	I2	I3				
Essential Operations for Service Infrastructure and Utilities																G1	G2	G3							
Golf Course and Driving Range																		G3							
Heavy Equipment Sales and Service												E2													
Help house																							A1 ^(a)		
Home Based Business	R1 ^(a)	R2 ^(a)	R3 ^(a)	R4 ^(a)	C1 ^(a)	C2 ^(a)		C4 ^(a)	C5 ^(a)	C6 ^(a)			M1 ^(a)	M2 ^(a)	M3 ^(a)				I1 ^(a)	I2 ^(a)		A1 ^(a)			

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PERMITTED USES	ZONES																									
Home Industry																						A1 ^(a)				
Hospital									C5				M1	M2	M3							I3				
Hotel / Motel								C3	C4	C5	C6	E1		M1	M2	M3										
Industry, Heavy													E2													
Industry, Light												E1	E2													
Kennel																						A1			A3	
Long-Term Care Facility				R3	R4					C5				M1	M2	M3					I1	I2	I3			
Maintenance/Utility Building																	G1	G2 ^(a)	G3 ^(a)							
Major Transit Station										C5																
Marina																			G3							
Motor Vehicle Gas Station					C1	C2	C3	C4				E1	E2	M1												
Motor Vehicle Repair Garage						C2	C3	C4				E1	E2	M1												
Motor Vehicle Sales / Rental Service Centre							C3																			
Nightclub							C3	C4	C5	C6																
Off Leash Dog Park																			G3							

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PERMITTED USES	ZONES																							
Office					C1	C2	C3	C4	C5	C6	E1	E2 ^(a)	M1	M2	M3									
Petting Zoo																		G3						
Picnic Area and Shelter																G1	G2	G3						
Place of Assembly / Banquet Hall						C2	C3	C4	C5	C6	E1		M1	M2	M3		G2 ^(b)	G3 ^(b)		I2				
Place of Worship					C1	C2	C3	C4	C5	C6			M1	M2	M3				I1	I2				
Playgrounds																	G2	G3						
Private Road Development	R1	R2	R3	R4									M1	M2	M3				I1	I2				
Recreation Facility, Indoor					C1	C2	C3	C4	C5	C6	E1 ^(a)	E2 ^(a)	M1	M2	M3			G3	I1	I2	I3			
Recreation Facility, Outdoor																	G2	G3						
Research Facility											E1	E2												
Restaurant					C1	C2	C3	C4	C5	C6	E1 ^(a)	E2 ^(a)	M1	M2	M3									
Retail Store					C1	C2	C3	C4	C5	C6	E1 ^(a)	E2 ^(a)	M1	M2	M3									
School, Elementary						C2		C4	C5	C6			M1	M2	M3				I1	I2				
School, Secondary						C2		C4	C5	C6			M1	M2	M3				I1	I2	I3			
Service Commercial					C1	C2	C3	C4	C5	C6	E1 ^(a)	E2 ^(a)	M1	M2	M3									

PERMITTED USES	ZONES																							
Social Welfare Service					C1	C2	C3	C4	C5	C6	E1		M1	M2	M3				I1	I2	I3			
Spectator Seating																	G2 ^(a)	G3 ^(a)						
Theatre						C2	C3	C4	C5	C6			M1	M2	M3									
Townhouse, Stacked		R2	R3	R4									M1	M2	M3					I2				
Townhouse, Street	R1	R2	R3	R4									M1	M2	M3				I1	I2				
Trail																	G1	G2	G3					
Transportation Depot												E2												
University / College						C2	C3	C4	C5	C6			M1	M2	M3						I3			
Washroom Facility / Change Room																	G2 ^(a)	G3 ^(a)						
Winery																						A1 ^(a)	A2 ^(a)	

4.2.1 Footnote to Section 4.2 Uses and Zones

- Only permitted as an accessory use.
- Existing Place of Assembly/Banquet Hall shall mean the building and structures used for a Place of Assembly/Banquet Hall existing on the date of the passing of this By-law.

4.3 Special Provisions

Where special provisions are established for certain lands, the applicable regulations of the special provisions apply in addition to, or as an exception to, the normal zone provisions that apply to the subject lands.

Where on Schedule A to this By-law, a zone symbol (e.g. R1) applying to lands contains a suffix at the end of the zone symbol consisting of a dash and number (e.g. R1-1), this indicates that a special provision applies to the subject lands. The number after the dash corresponds with the special provision number as set out in Section 13. There may be more than one number and, hence, special provision, that applies to certain lands (e.g. R1-1-14).

4.4 Holding (H) Provision

Where a zone symbol contains the suffix 'H' with or without a special provision (for example R4-H1 or R4-1-H1) the zoning shall not take effect until the prescribed conditions are met and the '(H)' is removed from the subject lands.

When the amending by-law removing the 'H' Holding symbol from a zone is enacted, the permitted uses and regulations of that zone shall apply.

Until such time as the prescribed conditions are met the identified lands shall only be used for the existing permitted uses including the expansion thereof as of the date of this By-law.

Land with Holding provisions including the conditions required to be satisfied prior to the removal of Holding (H) Zone symbol are identified in Section 14.

SECTION 5 RESIDENTIAL

No person shall use any land or erect, alter or use any building or structure in any Residential Zone except in accordance with Sections 5.1 to 5.8 of this By-law.

5.1 Zone Names and Symbols

Zone Symbol	Zone Name
R1	Low Density Residential – Suburban Neighbourhood
R2	Low Density Residential – Traditional Neighbourhood
R3	Medium Density Residential
R4	High Density Residential

5.2 Permitted Uses

PERMITTED USES	Zones			
Dwelling, Detached	R1	R2	R3	
Dwelling, Semi-detached	R1	R2	R3	
Dwelling, Duplex		R2	R3	
Dwelling, Triplex		R2	R3	R4
Dwelling, Fourplex	R1	R2	R3	R4
Townhouse, Stacked		R2	R3	R4
Townhouse, Street	R1	R2	R3	R4
Private Road Development	R1	R2	R3	R4
Apartment Building			R3	R4
Long-Term Care Facility			R3	R4

5.3 General Residential Provisions

5.3.1 Established Building Line

The minimum front yard and minimum exterior side yard may be reduced to:

- a) The average of the front yard of the principal buildings on either side of the lot;
- b) On a corner lot the front yard of the abutting principal building that fronts on the same street.

5.3.2 Local Convenience Commercial Uses in an Apartment Building

The following uses common to all dwelling units shall be permitted in apartment buildings and long term care facilities. No individual use shall exceed 300 m² gfa, and the combined maximum of such uses shall not exceed 3% of the total residential gross floor area on the premises.

- a) Place of Worship
- b) Service Commercial
- c) Retail Store

- d) Day Care
- e) Common dining facility (not a restaurant)
- f) Office
- g) Indoor Recreation Facility

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5.4 Provisions for Residential (R1) ZONE

Permitted Uses	Lot Area per Dwelling Unit ^(e)		Min. Lot Frontage Per Dwelling Unit ^(e)	Minimum Yards				Max Height	Max. Attached Dwelling Units	Density Per Hectare ^(e)	Min. Landscaped open space
	Min	Max		Min. Front Yard	Min. Rear Yard	Min Interior Side Yard	Min Exterior Side Yard				
Dwelling, Detached	397 m ²	490 m ²	15 m	5 m to dwelling/6 m to attached garage	7.5 m	1.2 m	4 m	11 m	n/a	n/a	25%
Dwelling, Semi-detached	372 m ²	465 m ²	11m	5 m to dwelling/6 m to attached garage	7.5 m	1.2 m ^(c)	4 m	11 m	2	n/a	25%
Dwelling, Fourplex ^(d)	350 m ²	465 m ²	11m	5 m to dwelling/6 m to attached garage	7.5 m ^(c)	1.2 m ^(c)	4 m	11 m	4	n/a	25%
Townhouse, Street	315 m ²	n/a	6 m	5 m to dwelling/6 m to attached garage	7.5 m	1.2 m	4 m	11 m	6	Min=20 units	25%
Private Road Development ^(b)	315 m ²	n/a	12.7 m ^(a)	5 m to dwelling/6 m to attached garage	See Table 5.8		4 m	11 m	8	Min=20 units	25%

5.4.1 Footnotes for Section 5.4 Residential (R1) Zone

- (a) Minimum lot frontage shall be for the lot not per dwelling unit
- (b) Private Road Development shall also be subject to the requirements set out in Table 5.8
- (c) Common walls shall be centred on the common lot line.
- (d) A fourplex shall only be divided vertically by common walls.
- (e) Accessory dwelling units shall not be included in the calculation of lot area, lot frontage, or density, nor shall accessory dwelling units be included in the maximum number of attached dwelling units.

5.5 Provisions for Residential (R2) ZONE

Permitted Uses	Lot Area per Dwelling Unit ^(e)		Min. Lot Frontage Per Dwelling Unit ^(e)	Minimum Yards				Max Height	Max. Attached Dwelling Units ^(e)	Density Per Hectare ^(e)	Min. Landscaped Open Space
	Min	Max		Min. Front Yard	Min. Rear Yard	Min Interior Side Yard	Min Exterior Side Yard				
Dwelling, Detached	300 m ²	465 m ²	9 m	3 m to dwelling/6 m to attached garage	6 m	1.2 m	3 m	11 m	n/a	n/a	25%
Dwelling, Semi-detached	280 m ²	465 m ²	7.5 m	3 m to dwelling/6 m to attached garage	6 m	1.2 m ^(c)	3 m	11 m	2	n/a	25%
Dwelling, Duplex	280 m ²	465 m ²	9 m ^(a)	3 m to dwelling/6 m to attached garage	6 m	1.2 m	3 m	11 m	2	n/a	25%
Dwelling, Triplex	280 m ²	465 m ²	6.5 m ^(a)	3 m to dwelling/6 m to attached garage	6 m	1.2 m	3 m	11 m	3	n/a	25%
Dwelling, Fourplex	280 m ²	465 m ²	6 m ^(d)	3 m to dwelling/6 m to attached garage	6 m ^(c)	1.2 m ^(c)	3 m ^(c)	11 m	4	n/a	25%
Townhouse, Stacked	280 m ²	n/a	6m ^(d)	3 m to dwelling/6 m to attached garage	6 m	1.2 m	3 m	11 m	6 ^(d)	Min.20 units	25%
Townhouse, Street	280 m ²	n/a	5m	3 m to dwelling/6 m to attached garage	6 m	1.2 m	3 m	11 m	6	Min. 20 units	25%
Private Road Development ^(b)	280 m ²	n/a	12.7 m ^(a)	3 m to dwelling/6 m to attached garage	See Table 5.8		3 m	11 m	8	Min. 20 units	25%

5.5.1 Footnotes for Section 5.5 Provisions for Residential (R2) Zone

- (a) Minimum lot frontage shall be for the lot
- (b) Private Road Development shall also be subject to the requirements set out in Table 5.8
- (c) Common walls shall be centred on the common lot line.
- (d) Per ground floor unit
- (e) Accessory dwelling units shall not be included in the calculation of lot area, lot frontage, or density, nor shall accessory dwelling units be included in the maximum number of attached dwelling units.

5.6 Provisions for Residential (R3) ZONE

Permitted Uses	Lot Area per Dwelling Unit ^(d)		Min. Lot Frontage Per Dwelling Unit ^(d)	Minimum Yards				Max Height	Max. Attached Dwelling Units ^(d)	Density Per Hectare ^(d)	Min. Landscaped Open Space
	Min	Max		Min. Front Yard	Min. Rear Yard	Min Interior Side Yard	Min Exterior Side Yard				
Dwelling, Detached	275 m ²	372 m ²	9 m	5 m to dwelling/6 m to attached garage	6 m	1.2 m	3 m	11 m	n/a	n/a	25%
Dwelling, Semi-Detached	200 m ²	348 m ²	7.5 m	5 m to dwelling/6 m to attached garage	6 m	1.2 m	3 m	11 m	2	n/a	25%
Dwelling, Duplex	139 m ²	348 m ²	9 m ^(b)	5 m to dwelling/6 m to attached garage	6 m	1.2 m	3 m	11 m	n/a	n/a	25%
Dwelling, Triplex	139 m ²	348 m ²	6.5 m ^(b)	5 m to dwelling/6 m to attached garage	6 m	1.2 m	3 m	11 m	n/a	n/a	25%
Dwelling, Fourplex	139 m ²	348 m ²	6 m ^(c)	5 m to dwelling/6 m to attached garage	6 m	1.2 m	3 m	11 m	4	n/a	25%
Townhouse, Stacked	139 m ²	348 m ²	1.5 m ^(c)	5 m to dwelling/6 m to attached garage	6 m	1.2 m	3 m	11 m	6 ^(c)	n/a	25%

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Permitted Uses	Lot Area per Dwelling Unit ^(d)		Min. Lot Frontage Per Dwelling Unit ^(d)	Minimum Yards				Max Height	Max. Attached Dwelling Units ^(d)	Density Per Hectare ^(d)	Min. Landscaped Open Space
	Min	Max		Min. Front Yard	Min. Rear Yard	Min Interior Side Yard	Min Exterior Side Yard				
Townhouse, Street	165 m ²	348 m ²	5.5 m	5 m to dwelling/6 m to attached garage	7.5 m	1.2 m	3 m	11 m	6	n/a	25%
Private Road Development ^(a)	n/a	n/a	12.7 m ^(b)	5 m to dwelling/6 m to attached garage	See Table 5.8		3 m	11 m	8	Min. 25 units Max. 99 units	25%
Apartment Building Long Term Care Facility Local / Collector Road	n/a	n/a	30 m ^(b)	6 m	height of building	4 m	4.5 m	16 m	n/a	Min. 25 units Max. 99 units	25%
Apartment Building Long Term Care Facility Arterial Road	n/a	n/a	30m ^(b)	6m for up to 16 m of building height / 7m for anything higher	height of building	4 m for up to 16 m of building height / 6m for anything higher	4.5m	20 m	n/a	Min. 25 units / Max. 99 units	20%

5.6.1 Footnotes for Section 5.6 Provisions for Residential (R3) Zone

- (a) Private Road Developments shall also be subject to the requirements set out in Table 5.8
- (b) Minimum lot frontage shall be for the lot not per dwelling unit
- (c) Per ground floor dwelling unit
- (d) Accessory dwelling units shall not be included in the calculation of lot area, lot frontage, or density, nor shall accessory dwelling units be included in the maximum number of attached dwelling units.

5.7 Provisions for Residential (R4) Zone

Permitted Uses	Min. Frontage Per Dwelling Unit	Minimum Yards				Max. Height	Max. Attached Dwelling Units	Min. Density Per Hectare	Min. Landscaped open space
		Min. Front Yard	Min. Rear Yard	Min. Side Yard	Min. Exterior Side Yard				
Dwelling, Triplex	6.5 m ^(b)	3 m to dwelling/6 m to attached garage	6 m	1.2 m	3 m	11 m	n/a	85 Units	25%
Dwelling, Fourplex	6 m ^(c)	3 m to dwelling/6 m to attached garage	6 m	1.2 m	3 m	11 m	4	85 Units	25%
Townhouse, Stacked	5.5 m ^(c)	3 m to dwelling/6 m to attached garage	6 m	1.2 m	3 m	11 m	6 ^(c)	85 Units	25%
Townhouse, Street	5.5 m	3 m to dwelling/6 m to attached garage	6 m	1.2 m	3 m	11 m	6	85 Units	25%
Private Road Development ^(a)	12.7 m ^(b)	3 m to dwelling/6 m to attached garage	see Table 5.8		3 m	11 m	8	85 Units	25%
Apartment Building	30 m ^(b)	3 m for up to 14 m of building height/5 m for anything higher	4.5 m for up to 14 m of building height / additional 0.5 m for each additional 1m of building height	3m for up to 14 m of building height / additional 0.5 m for each additional 1m of building height	4.5 m	n/a	n/a	85 Units	40%

5.7.1 Footnotes for Section 5.7 Provisions for Residential (R4) Zone

- (a) Private Road Developments shall also be subject to the requirements set out in Table 5.8
- (b) Minimum lot frontage shall be for the lot not per dwelling unit.
- (c) Per ground floor dwelling unit.

5.8 Additional Private Road Development Provisions

On Private Road Developments all dwellings, except apartment buildings (see Section 5.7 for apartment building provisions) shall be subject to the following additional requirements:

Minimum Yard Requirements									
Interior Side Yard		Rear Yard		Between Buildings			Min. Distance From Private Road		Maximum Unit Driveway Width
From End Wall	From Rear Wall	From End Wall	From Rear Wall	Between End Walls	Between Rear Walls	Between End and Rear Wall	To attached Garage	To Dwelling	
3 m	6 m	3 m	6 m	6 m	7.5 m	6 m	6 m	3 m	50% of unit width

SECTION 6 COMMERCIAL

No person shall use any land or construct, alter or use any building or structure in any Commercial Zone except in accordance with Sections 6.1 to 6.5 of this By-law.

6.1 Zone Names and Symbols

Zone Symbol	Zone Name
C1	Local Convenience Commercial
C2	Community Commercial
C3	Arterial Commercial
C4	Major Commercial
C5	Downtown Commercial Core
C6	Downtown Traditional Main Street

6.2 Permitted Uses

PERMITTED USES	Zones					
Animal Care Establishment	C1	C2	C3	C4	C5	C6
Apartment Building		C2 ^(b)		C4 ^(h)	C5 ^(h)	
Car Wash		C2	C3	C4		
Commercial Parking Structure		C2	C3	C4	C5	C6
Cultural Facility	C1	C2	C3	C4 ^(b)	C5	C6
Day Care	C1	C2	C3	C4	C5	C6
Apartment Dwelling Unit(s)	C1 ^(d)	C2		C4 ^{(a)(b)}	C5 ^(h)	C6 ^(h)
Emergency Service Facility			C3	C4	C5	
Hospital					C5	
Hotel / Motel			C3	C4	C5	C6
Indoor Recreation Facility	C1	C2	C3	C4	C5	C6
Long Term Care Facility					C5	
Major Transit Station					C5	
Motor Vehicle Gas Station	C1 ^(c)	C2 ^(c)	C3	C4 ^(c)		
Motor Vehicle Repair Garage		C2 ^(c)	C3	C4 ^(c)		
Motor Vehicle Sales / Rental Service Centre			C3			

PERMITTED USES	Zones					
Nightclub			C3	C4	C5	C6
Office	C1	C2	C3 ^(e)	C4 ^(b)	C5	C6
Place of Assembly / Banquet Hall		C2	C3	C4	C5	C6
Place of Worship	C1	C2	C3	C4 ^(b)	C5 ^(g)	C6 ^(g)
Restaurant	C1	C2	C3	C4	C5	C6
Retail Store	C1	C2	C3	C4	C5 ^(f)	C6 ^(f)
School, Elementary		C2		C4	C5	C6
School, Secondary		C2		C4	C5	C6
Service Commercial	C1	C2	C3	C4	C5 ^(f)	C6 ^(f)
Social Service Facility	C1	C2	C3	C4	C5	C6
Theatre		C2	C3	C4	C5	C6
University / College		C2	C3	C4	C5	C6

6.2.1 Footnotes for 6.2 Permitted Uses Table

- a) Apartment dwelling units located on the ground floor in a mixed use building shall not occupy more than 30% of the GFA of the ground floor
- b) Must be located on the same lot as retail uses.
- c) Auto sales not permitted.
- d) Dwelling units are only permitted over, behind, and/or below non-residential uses.
- e) Only permitted with other commercial uses: not permitted as a stand-alone use.
- f) Also permitted on upper floors where in conjunction with a ground floor non-residential use.
- g) Permitted to a maximum total ground floor area of 500 m².
- h) Not permitted on the ground floor facing a public road.

6.3 General Provisions

6.3.1 Temporary Outdoor Display and Seasonal Sale Area

- a) Shall comply with the yard provisions set out in Table 6.4
- b) Are not included in gross floor area (GFA) for calculation of parking requirements

6.3.2 Outdoor Storage

Outdoor storage is not permitted in any Commercial Zone, except for motor vehicle sale / rental service centres.

6.3.3 Shopping Centres.

The requirements of this By-law shall apply to the entire shopping centre as though it was 1 lot.

6.4 Provisions for Commercial (C1) to (C4) Zones

Zone	Max Lot Area	Non-residential Max. GFA	Max. Percentage of Ground Floor Area Mixed Use Site Non-retail uses	Max. Percentage of Total GFA per use Mixed Uses	Min. Yard Abutting a Residential Zone	Min. Exterior Side Yard	Max. Exterior Side Yard	Min. Front Yard	Max. Front Yard	Max. Height	Min Landscaped Open Space Abutting a Residential Zone
C1	4000 m ²	930 m ² (a) (b)	n/a	n/a	7.5 m	3 m	23 m	3 m	23 m	14 m	3 m
C2	n/a	5000 m ² (g)	n/a	35 % (c)	7.5 m or ½ ht of the bldg. whichever is greater	3 m	23 m	3 m	23 m	n/a	3 m
C3	n/a	n/a	n/a	10 % (d)	7.5 m or ½ ht of the bldg. whichever is greater	3 m	23 m	3 m	23 m	n/a	4 m
C4	n/a	n/a	50 % (f)	12.5 % (e)	7.5 m or ½ ht of the bldg. whichever is greater	3 m	23 m	3 m	23 m	n/a	4 m

6.4.1 Footnotes for Section 6.4 Provisions for Commercial (C1) to (C4) Zones

- a) Maximum 370 m² GFA per individual non residential use
- b) Apartment dwelling units must be included when GFA exceeds 370 m²
- c) Limit only applies to total ground floor GFA in a shopping centre.
- d) Limit only applies to offices in mixed use building/site.
- e) Limit only applies to maximum percentage ground floor GFA per individual free standing non-retail use.
- f) Limit only applies to total of all free standing non-retail uses on a mixed use site. No limit on percentage of ground floor GFA of retail uses.
- g) Limit per use.

6.5 Provisions for Commercial (C5) and (C6) Zones

	Min. Lot Frontage	Min. Front Building Façade Width ^(c)	Min. Exterior Side Building Façade Width ^(c)	Min. Ground Floor Street-Facing Building Façade Devoted to Openings (windows, entrances, etc.)	Max. Front Yard or Exterior Side Yard	Min. Height ^(d)	Max. Height
C5	6.0 m	80% of lot frontage	60% of lot depth	50% surface area	3.0 m ^(b)	7.5 m	n/a
C6	5.0 m	90% of lot frontage	70% of lot depth	60% surface area	1.5 m	7.5 m	11.0 m ^(a)

6.5.1 Footnotes for Section 6.5 Provisions for Commercial (C5) and (C6) Zones

- a) Above 11 m in building height, 1.0 metre of additional building height shall be permitted for each 1.0 metre of building setback from the ground floor exterior and/or front building façade.
- b) The front or exterior side yard may be enlarged up to additional 5 m where the entire front or exterior side yard is used for publicly-accessible open space in the form of a plaza or courtyard, and which does not include parking, loading space or lay-by lane.
- c) Does not apply to building facades facing the following public roads: Ontario Lane, May Alley, Helliwell Lane, Summer Street, Market Street, Garden Park, and Court Alley and The Parkway.
- d) Minimum two storeys above grade.

SECTION 7 Employment

No person shall use any land or construct, alter or use any building or structure in any Employment Zone except in accordance with Section 7.1 to 7.4 of this By-law

7.1 Zone Names and Symbols

	Zone Name
E1	Business Commercial Employment
E2	General Employment

7.2 Permitted Uses

PRINCIPAL USES	ZONES	
Adult Oriented Entertainment Establishment	E1	E2
Bulk Fuel Depot		E2
Car Wash	E1	E2
Contractor's Yard		E2
Heavy Equipment Sales and Service		E2
Hotel/Motel	E1	
Industry, Heavy		E2
Industry, Light	E1	E2
Motor Vehicle Gas Station	E1	E2
Motor Vehicle Repair Garage	E1	E2
Office	E1	
Place of Assembly / Banquet Hall	E1	
Research Facility	E1	E2
Social Service Facility	E1	
Transportation Depot		E2

ACCESSORY USES	ZONES	
Animal Care Establishment	E1	E2
Indoor Recreation Facility	E1	E2
Office		E2
Retail Store	E1	E2
Restaurant	E1	E2
Service Commercial	E1	E2

7.3 General Employment Provisions

7.3.1 Accessory Uses

- a) In a Business Commercial Employment (E1) zone the total floor area of all accessory uses shall not exceed 30% of the total floor area of the principal use(s) on the lot.
- b) In a General Employment (E2) zone the total floor area of all accessory uses shall not exceed 15% of the total floor area of the principal use(s) on the lot.

7.3.2 Retail Sales/Display of Products

The retail sale and/or display of products manufactured or assembled on the premises shall be permitted subject to the following:

- a) In the General Employment (E2) Zone to a maximum of 15% of the total floor area of any industrial or office use.
- b) In the Business Commercial Employment (E1) Zones a maximum of 35% of the total floor area of any industrial use.
- c) In the Business Commercial Employment (E1) Zone a maximum of 15% of the total floor area of any office use.

7.3.3 Employee Convenience Facilities

Space devoted to ancillary employee convenience facilities provided within an Employment use for the convenience and health of employees such as tuck shops, cafeterias, day care, training, medical, recreational and fitness facilities shall be:

- a) Part of the main building
- b) For the exclusive use of employees.
- c) Limited to 5% of the total floor area of the building(s) for all employee convenience facilities combined.

7.3.4 Adult Oriented Entertainment Establishment

Adult Oriented Entertainment Establishments are not permitted:

- a) Within 150 m of any: Residential Zones, Mixed Use Zones, Institutional Zones, Green Space Zones, the Downtown Commercial Core (C5) Zone, or the Downtown Traditional Main Street (C6) Zone.;
- b) Within 150 m of the municipal boundary;

- c) Within 150 m of Glendale Avenue, Queenston Street, Welland Canals Parkway, Lakeshore Road, Fourth Avenue, and St. Paul Street West.
- d) Within 1000 m of another adult oriented entertainment establishment.

7.3.5 Street Facing Façades

Exterior walls facing a public road shall not be constructed of concrete blocks unless the blocks are decorative masonry units; or used in a decorative pattern or surfaced with stucco; or with a permanent coloured finish which does not include paint.

7.3.6 Front Yard and Exterior Side Yard Parking Areas

In addition to the General Parking Provisions set out in Section 3 of this By-law all parking areas in the front and/or exterior side yard shall be:

- a) Paved with concrete or asphalt.
- b) Defined by poured concrete curbing.
- c) Clearly marked with pavement markings for each parking space.

7.3.7 Vehicle Wash Bays

Vehicle wash bays, other than those located entirely within an enclosed building are not permitted in a yard abutting a Residential Zone, Institutional Zone, or Mixed Use Zone.

7.3.8 Outdoor Storage and Outdoor Processing

Outdoor storage and outdoor processing is subject to the provisions outlined in Section 2.9 of this By-Law and the following:

- a) Outdoor storage and outdoor processing is not permitted in any yard that abuts Highway 406, the Queen Elizabeth Highway or an arterial or collector road as outlined in Schedule D.
- b) No outdoor scrap or recycling outside storage yard or outdoor processing may be located closer than 150 m from a Residential, Mixed Use, Institutional or Green Space zone.
- c) In Business Commercial Employment Zones (E1) all outdoor storage yards cannot occupy more than 10 % of the total lot area.
- d) No outdoor processing is permitted in the Business Commercial Employment (E1) zones.
- c)

7.4 Provisions for Employment (E1) and (E2) Zones

Zone	Min Lot Area	Min Lot Frontage	Min. Yard Abutting Residential, Institutional, Green Space or Mixed Use Zone	Exterior Side Yard/ Front Yard	Min. Landscape Buffer Street Frontage
E1	2000 m ²	30 m	15 m	12 m	6 m
E2	4000 m ²	60 m	15 m	12 m	3 m

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SECTION 8 MIXED USE

8.1 Zone Names and Symbols

Zone Symbol	Zone Name
M1	Medium Density Mixed Use
M2	Medium / High Density Mixed Use
M3	High Density Mixed Use

8.2 Permitted Uses

Permitted Uses	Zone		
Animal Care Establishment	M1	M2	M2
Apartment Building	M1	M2	M3
Car Wash	M1 ^{(e) (f)}		
Cultural Facility	M1	M2	M3
Day Care	M1	M2 ^(d)	M3 ^(d)
Dwelling Unit, Apartment	M1	M2	M3
Dwelling, Detached		M2	
Dwelling, Duplex		M2	
Dwelling, Fourplex	M1	M2	M3
Dwelling, Semi-Detached		M2	
Dwelling, Triplex	M1	M2	M3
Emergency Service Facility	M1	M2	M3
Hospital	M1	M2	M3
Hotel / Motel	M1	M2	M3
Indoor Recreation Facility	M1	M2 ^(a)	M3 ^(a)
Long Term Care Facility	M1	M2	M3
Office	M1	M2	M3
Motor Vehicle Repair Garage	M1 ^(e)		

Permitted Uses	Zone		
Motor Vehicle Gas Station	M1 ^(e)		
Place of Assembly/Banquet Hall	M1	M2	M3
Place of Worship	M1	M2	M3
Private Road Development	M1	M2	M3
Restaurant	M1 ^(c)	M2 ^{(c) (d)}	M3 ^{(c) (d)}
Retail Store	M1 ^(b)	M2 ^(a)	M3 ^(a)
School, Elementary	M1	M2	M3
School, Secondary	M1	M2	M3
Service Commercial	M1 ^(c)	M2 ^{(c) (d)}	M3 ^{(c) (d)}
Social Service Facility	M1	M2	M3
Theatre	M1	M2 ^(d)	M3 ^(d)
Townhouse, Stacked	M1	M2	M3
Townhouse, Street	M1	M2	M3
University/College	M1	M2	M3

8.2.1 Footnotes for Table 8.2 Permitted Uses are as follows:

- a) Use only permitted on the ground floor in a building containing residential dwelling unit(s)
- b) Permitted only on ground floor
- c) Permitted on upper floors only in conjunction with the same ground floor use
- d) Permitted to a maximum 500 m² GFA. Does not apply to Funeral Homes
- e) Not permitted on the same lot with residential uses
- f) Outdoor open bay non-automated car washes shall not be permitted.

8.3 General Mixed Use Provisions

8.3.1 Mixed Use (Residential and Non-residential) Buildings

- a) In the Medium Density Mixed Use (M1) zone, where non-residential GFA is greater than 930 m², a minimum of 6 residential dwelling units on the same lot is required.
- b) In all Mixed Use (M1)(M2)(M3) zones:
 - i. Where non-residential uses are in conjunction with any residential use permitted in Section 8.2, the respective provisions set out in Section 8.4, 8.5 or 8.6 apply.
 - ii. In new buildings or conversion of residential buildings to mixed use the maximum combined non-residential GFA shall not exceed 50% of residential GFA on the lot, to a maximum 930 m²..

- iii. Where non-residential buildings are converted to mixed use to add dwelling unit(s), the provisions for maximum combined non-residential GFA do not apply.
- c) Maximum residential density shall not exceed 100 units/ha in the Medium Density (M1) zone.
- d) Maximum residential density shall not exceed 198 units/ha in the Medium High Density Mixed Use (M2) zone.

8.3.2 Established Building Line

The minimum front yard and/or minimum exterior side yard may be reduced to:

- a) The average of the front yard of the principal buildings on either side of the lot.
- b) On a corner lot the front yard of the abutting principal building that fronts on the same street.

8.4 Provisions for Residential Uses in Mixed Use (M1) Zone

Permitted Uses	Lot Area per Dwelling Unit ^(e)		Min. Lot Frontage Per Dwelling Unit ^(e)	Minimum Yards				Max. Attached Principal Dwelling Units	Max. Height	Min. Landscaped open space
	Min	Max		Min. Front Yard	Min. Rear Yard	Min. Interior Side Yard	Min. Exterior Side Yard			
Dwelling, Triplex	100 m ²	250 m ²	6.5 m ^(b)	3 m to dwelling/6 m to attached garage	6 m	1.2 m	3 m to dwelling/6 m to attached garage	3	11 m	25%
Dwelling, Fourplex	100 m ²	250 m ²	6 m ^(c)	3 m to dwelling/6 m to attached garage	6 m	1.2 m	3 m to dwelling/6 m to attached garage	4	11 m	25%
Townhouse, Stacked	100 m ²	250 m ²	5.5 m ^(c)	3 m to dwelling/6 m to attached garage	6 m	1.2 m	3 m to dwelling/6 m to attached garage	6 ^(c)	11 m	25%
Townhouse, Street	100 m ²	250 m ²	5.5 m	3 m to dwelling/6 m to attached garage	6 m	1.2 m	3 m to dwelling/6 m to attached garage	6	11 m	25%
Private Road Development ^(a)	100 m ²	250 m ²	12.7 m ^(b)	3 m to dwelling/6 m to attached garage	See Table 5.8		3 m	8	11 m	25%
Apartment Building or Long Term Care Facility	100 m ²	250 m ²	20 m ^(b)	6 m	Height of building ^(e)	3 m	6 m	n/a	20 m	20%

8.5 Provisions for Residential Uses in Mixed Use (M2) Zone

Permitted Uses	Lot Area per Dwelling Unit ^(e)		Min. Lot Frontage Per Principal Dwelling Unit ^(e)	Minimum Yards					Max. Attached Principal Dwelling Units ^(e)	Max. Height	Min. Amenity Space ^(d)
	Min	Max		Min. Front Yard	Max. Front Yard	Min. Rear Yard	Min. Interior Side Yard	Min. Exterior Side Yard			
Dwelling, Detached	n/a	165 m ²	8 m	3 m to dwelling/6 m to attached garage	5 m to dwelling	1.2 m	1 m	3 m to dwelling/6 m to attached garage	n/a	11 m	10%
Dwelling, Semi-Detached	100 m ²	165 m ²	6.5 m	3 m to dwelling/6 m to attached garage	5 m to dwelling	1.2 m	1 m	3 m to dwelling/6 m to attached garage	2	11 m	10%
Dwelling, Duplex	100 m ²	165 m ²	8 m ^(b)	3 m to dwelling/6 m to attached garage	5 m to dwelling	1.2 m	1 m	3 m to dwelling/6 m to attached garage	2	11 m	10%
Dwelling, Triplex	100 m ²	165 m ²	6.5 m ^(b)	3 m to dwelling/6 m to attached garage	5 m to dwelling	1.2 m	1 m	3 m to dwelling/6 m to attached garage	3	11 m	10%
Dwelling, Fourplex	100 m ²	165 m ²	6 m ^(c)	3 m to dwelling/6 m to attached garage	5 m to dwelling	1.2 m	1 m	3 m to dwelling/6 m to attached garage	4	11 m	10%
Townhouse, Stacked	100 m ²	165 m ²	5.5 m ^(c)	3 m to dwelling/6 m to attached garage	5 m to dwelling	1.2 m	1 m	3 m to dwelling/6 m to attached garage	6 ^(c)	11 m	10%

Permitted Uses	Lot Area per Dwelling Unit ^(e)		Min. Lot Frontage Per Principal Dwelling Unit ^(e)	Minimum Yards					Max. Attached Principal Dwelling Units ^(e)	Max. Height	Min. Amenity Space ^(d)
	Min	Max		Min. Front Yard	Max. Front Yard	Min. Rear Yard	Min. Interior Side Yard	Min. Exterior Side Yard			
Townhouse, Street	100 m ²	165 m ²	5.5 m	3 m to dwelling/6 m to attached garage	5 m to dwelling	1.2 m	1 m	3 m to dwelling/6 m to attached garage	6	11 m	10%
Private Road Development ^(a)	100 m ²	165 m ²	12.7 m ^(b)	3 m to dwelling/6 m to attached garage	5 m to dwelling	See Table 5.8		3 m	8	11 m	10%
Apartment Building or Long Term Care Facility	46 m ²	165 m ²	20 m ^(b)	3 m for up to 14 m in building height / 5 m for anything higher	5 m to dwelling	4.5 m for up to 14 m in building height / Additional 0.5 m for each additional 1 m in building height	1.2 m	1.2 m	n/a	n/a	n/a

8.6 Provisions for Residential Uses in Mixed Use (M3) Zone

Permitted Uses	Lot Area per Dwelling Unit ^(e)		Min. Lot Frontage Per Principal Dwelling Unit ^(e)	Minimum Yards					Max. Attached Principal Dwelling Units ^(e)	Max. Height	Min. Amenity Space ^(d)
	Min	Max		Min. Front Yard	Max. Front Yard	Min. Rear Yard	Min. Interior Side Yard	Min. Exterior Side Yard			
Dwelling, Triplex	77 m ²	118 m ²	6.5 m ^(b)	3 m to dwelling/6 m to attached garage	5 m to dwelling	1.2 m	1 m	3 m to dwelling/6 m to attached garage	3	11 m	10%
Dwelling, Fourplex	77 m ²	118 m ²	6 m ^(c)	3 m to dwelling/6 m to attached garage	5 m to dwelling	1.2 m	1 m	3 m to dwelling/6 m to attached garage	4	11 m	10%
Townhouse, Stacked	77 m ²	118 m ²	5.5 m ^(c)	3 m to dwelling/6 m to attached garage	5 m to dwelling	1.2 m	1 m	3 m to dwelling/6 m to attached garage	6 ^(c)	11 m	10%
Townhouse, Street	77 m ²	118 m ²	5.5 m	3 m to dwelling/6 m to attached garage	5 m to dwelling	1.2 m	1 m	3 m to dwelling/6 m to attached garage	6	11 m	10%
Private Road Development ^(a)	77 m ²	118 m ²	12.7 m ^(b)	3 m to dwelling/6 m to attached garage	5 m to dwelling	See Table 5.8		3 m	8	11 m	10%
Apartment Building or Long Term Care Facility	n/a	118 m ²	20 m ^(b)	3 m for up to 14 m in building height/5 m for anything higher	5 m to dwelling	4.5 m for up to 14 m in building height/additional 0.5 m for each additional 1 m in building height	1.2 m	1.2 m	n/a	n/a	n/a

8.7 Footnotes for Section 8.4, 8.5 and 8.6 Provisions for Residential Uses in Mixed Use (M1), (M2) and (M3) Zones

- a) Private Road Developments shall also be subject to the requirements as set out in Table 5.8
- b) Minimum lot frontage shall be for the lot
- c) Per ground floor dwelling unit
- d) A minimum amenity space, at or above grade shall be provided on each lot, at a total equal to or greater than 10% of building ground floor area. Each amenity space shall have a dimension of not less than 1.5 m in width, and shall not be permitted to extend into any required yard
- e) Accessory dwelling units shall not be included in the calculation of lot area or lot frontage, nor shall accessory dwelling units be included in the maximum number of attached dwelling units.

8.8 Provisions for Non-residential Stand Alone Uses in the Mixed Use (M1), (M2), (M3) Zones

Zone	Max. Lot Area	Max. Lot Frontage	Yards							Max. Height	Min. Landscape Buffer Abutting a Res. Zone	Max. Combined Non-residential GFA on a lot
			Front		Min. Interior Side	Exterior		Min. Rear	Min. Yard Abutting a Residential Zone			
			Min.	Max.		Min.	Max.					
M1	4000 m ²	30m	3 m	23 m	1.2 m	3 m	23 m	3 m	7.5 m or ½ height of the building, whichever is greater	20 m	3 m	1,860 m ²
M2	4000 m ²	30 m	3 m for up to 14 m in building height / 5 m for anything higher	5	1.2 m	1.2 m	5 m	4.5 m for up to 14 m in building height / additional 0.5 m for each additional 1 m in building height	7.5 m or ½ height of the building, whichever is greater	n/a	n/a	1400 m ²
M3	4000 m ²	30 m	3 m for up to 14 m in building height / 5 m for anything higher	5	1.2 m	1.2 m	5 m	4.5 m for up to 14 m in building height / additional 0.5 m for each additional 1 m in building height	7.5 m or ½ height of the building, whichever is greater	n/a	n/a	1400 m ²

SECTION 9 GREEN SPACE

No person shall use any land or construct, alter or use any building or structure in any Green Space Zone except in accordance with Section 9.1 to 9.3 of this By-law.

9.1 Zone Names and Symbols

Zone Symbol	Zone Name
G1	Conservation / Natural Area
G2	Minor Green Space (Neighbourhood Parks/Open Space)
G3	Major Green Space (District/City Wide Parks/ Open Space)

9.2 Permitted Uses

PERMITTED USES	G1	G2	G3
Boat Ramp	G1	G2	G3
Cemetery		G2	G3
Conservation / Natural Area	G1	G2	G3
Cultural Facility			G3
Essential Operations for Service Infrastructure and Utilities	G1 ^(b)	G2	G3
Existing Place of Assembly/ ^(a) Banquet Hall		G2	G3
Golf Course and Driving Range			G3
Marina			G3
Off Leash Dog Park			G3
Outdoor Recreation Facility		G2	G3
Indoor Recreation Facility			G3
Petting Zoo			G3
Picnic Area and Shelter	G1	G2	G3
Playground		G2	G3
Trail	G1	G2	G3

PERMITTED ACCESSORY USES			
Concession Stand		G2	G3
Maintenance / Utility Building Associated with Park Operation		G2	G3
Spectator Seating		G2	G3
Washroom Facility/Change Room		G2	G3

9.2.1 Footnotes for Section 9.2 Permitted Uses

- a) Existing Place of Assembly/Banquet Hall shall mean the building and structures used for a Place of Assembly/Banquet Hall on the date of the passing of this By-law.
- b) Only essential linear operations for service infrastructure and utilities are permitted

9.3 Provisions for Green Space (G1) to (G3) Zones

Zone	Max. Lot Coverage	Min. Front Yard	Min. Side Yard	Min. Flanking Yard	Min. Rear Yard	Max. Height
G1	n/a	n/a	n/a	n/a	n/a	n/a
G2	10%	6 m	3 m	4.5 m	11 m	11 m
G3	25%	6 m	3 m	4.5 m	11 m	16 m

SECTION 10 INSTITUTIONAL

No person shall use any land or construct, alter or use any building or structure in any Institutional Zone except in accordance with Section 10.1 to 10.3 of this By-law.

10.1 Zone Names and Symbols

Zone Symbol	Zone Name
I1	Local Neighbourhood Institutional
I2	Community Institutional
I3	Major Institutional

10.2 Permitted Uses

PERMITTED USES	Zones		
Cultural Facility	I1	I2	
Day Care	I1	I2	I3
Emergency Service Facility	I1	I2	I3
Hospital			I3
Indoor Recreation Facility	I1	I2	I3
Long Term Care Facility	I1	I2	I3
Low Density Suburban Residential (R1)	I1		
Medium Density Residential (R3)		I2	
Place of Assembly / Banquet Hall		I2	
Place of Worship	I1	I2	
School, Elementary	I1	I2	
School, Secondary	I1	I2	I3
Social Service Facility	I1	I2	I3
University/College			I3

10.3 Provisions for Institutional (I1) to (I3) Zones

Zone	Lot Area	Min. Lot Frontage	Min. Landscaped Open Space	Min. Yard Abutting Non-Residential Zone	Min. Yard Abutting a Residential Zone	Min. Front Yard	Min Exterior Yard	Height
I1 ^(a)	Max. 1 ha	20 m	25%	3 m	3 m or ½ ht of building whichever is greater	6 m	6 m	14 m
I2 ^(b)	Max. 3 ha	20 m	25%	3 m	3 m or ½ ht of building whichever is greater	6 m	6 m	20 m
I3	Min. 10 ha	50 m	25%	15 m	3 m or ½ ht of building whichever is greater	6 m	6 m	n/a

10.3.1 Footnotes for Section 10.3 Provisions for Institutional (I1) to (I3) Zones

- a) Low Density Suburban Residential (R1) uses shall comply with Section 5 Residential provisions of this By-law.
- b) Medium Density Residential (R3) uses shall comply with Section 5 Residential provisions of this By-law.

SECTION 11 AGRICULTURE

No person shall use any land or construct, alter or use any building or structure in any Agricultural Zone except in accordance with Sections 11.1 to 11.5 of this By-law.

11.1 Zone Names and Symbols

Zone Symbol	Zone Name
A1	Agriculture
A2	Agriculture Only
A3	Agriculture Commercial/Industrial

11.2 Permitted Uses

Principal Uses	Zones		
Agriculture farm related commercial or industrial use ^(a)			A3
Agriculture	A1	A2	A3
Dwelling, Detached	A1		
Kennel	A1		A3

Accessory Uses	Zones		
Agri-tourism/Value Added ^(b)	A1		
Help house ^(d)	A1		
Home Industry ^(e)	A1		
Winery ^(c)	A1	A2	

11.2.1 Footnotes for Section 11.2 Permitted Uses

- a) The maximum size of a farm related commercial or industrial building shall be 930m² GFA.
- b) Agri-tourism/Value Added Uses
 - i. Agri-tourism/Value Added uses 93 m² gfa or less shall be permitted on all farm parcels within the A1 zone. Agri-tourism/Value Added uses greater than 93 m² gfa shall be permitted only on properties larger than 6 ha and to a maximum size of 464.5 m² GFA.
 - ii. Display and sales area of off-farm products may occupy a maximum of 1/3 of the total GFA devoted to commercial use of an Agri-tourism/Value Added use to a maximum of 93 m² gfa.
 - iii. A bed and breakfast accommodation shall not exceed 6 guest bedrooms.

c) Winery

- i. The minimum size of a farm parcel containing a winery shall be 6 ha.
- ii. The total of all Agri-tourism/Value Added uses associated with a winery shall not exceed 50% of the gross floor area of a winery on the same property, up to a maximum of 464.5m² GFA.

d) Help House

- i. The minimum lot area on which 1 help house for greenhouses shall be located is 1.2 ha.
- ii. The minimum lot area for all other farms where 1 help house is permitted shall be 10 ha.

e) Home Industry

- i. A home industry shall be limited to a maximum gross floor area of 75m².
- ii. There shall not be more than 3 non-resident employees in a home industry.
- iii. No outside storage associated with a home industry is permitted.

11.3 Provisions for Agriculture (A1) Zone

Permitted Uses	Min Lot Area	Min Lot Frontage	Minimum Yards				Max Height	Max Lot Coverage
			Front	Rear	Interior Side	Exterior Side		
Agriculture Use and Permitted Accessory Uses	16.2 ha	60 m	15 m	15 m ^(a)	15 m ^(a)	15 m	15 m	20% ^(b)
Kennels	16.2 ha	60 m	15 m	15 m	15 m	15 m	15 m	20%
Detached Dwelling	4,050 m ²	40 m	9 m ^(c)	11 m ^(c)	3 m ^(c)	5 m ^(c)	11 m ^(c)	15% when not associated with an agricultural use
Building and Structures Accessory to Permitted Uses and/or Permitted Accessory Uses	n/a	n/a	9 m	2 m	2 m	5 m	6 m	n/a

11.3.1 Footnotes for Section 11.3 Provisions for Agriculture (A1) Zone

- a) 25 m where greenhouse fans face an adjacent dwelling or help house.
- b) A lot with greenhouses: 50%.
- c) A help house shall be subject to the yard and height requirements for detached dwellings.

11.4 Provisions for Agriculture (A2) Zone

Permitted Uses	Min Lot Frontage	Minimum Yards				Max Height	Max Lot Coverage
		Front	Rear	Interior Side	Exterior Side		
Agriculture Use and Permitted Accessory Uses	60 m	15 m	15 m ^(a)	15 m ^(a)	15 m	15 m	20% ^(b)
Buildings and Structures Accessory to Permitted Uses and/or Permitted Accessory Uses	n/a	9 m ^(c)	2 m	2 m	5 m	6 m	n/a

11.4.1 Footnotes for Section 11.4 Provisions for Agriculture (A2) Zone

- a) 25 m where greenhouse fans face an adjacent dwelling or help house
- b) Lot with greenhouses: 50%
- c) Road-side produce stands are permitted no closer than 0.6 m to the front lot line.

11.5 Provisions for Agriculture (A3) Zone

Permitted Uses	Max Lot Area	Min Lot Frontage	Minimum Yards				Max Height	Max Lot Coverage
			Front	Rear	Interior Side	Exterior Side		
Agriculture Farm Related Commercial or Industrial use	0.4 ha	30 m	12 m	7.5 m	6 m	12 m	14 m	25%
Buildings and Structures Accessory to Permitted Uses	n/a	n/a	9 m	2 m	2 m	5 m	6 m	n/a

SECTION 12 DEFINITIONS

Abutting: means anything adjacent and parallel to the lot line described in the by-law.

Accessory Structure: means a detached building or structure that is incidental and secondary to the principal use(s) on the same lot.

Accessory Use: means a use subordinate and incidental to the principal use(s) on the same lot.

Adult Oriented Entertainment Establishment: means any indoor premises or part thereof in which is provided, in pursuance of a trade, calling, business or occupation or services appealing to or designed to appeal to erotic or sexual appetites or inclinations including buffer clubs and body rub parlours. It does not include establishments that retail adult oriented goods or services which are provided by a provincially licenced registered professional such as a registered massage therapist

Agriculture: means including but not limited to the following: the growing of crops, nursery and greenhouse and horticultural crops; raising and/or stabling of livestock and other animals for food, fibre, fur or recreation, including poultry and fish; aquaculture; apiaries; agro-forestry; maple syrup production; uses and practices necessary to support the day to day operation of the agriculture use and associated on farm buildings and structures including accommodation for full time farm labour when the size and nature of the operation requires additional employment.

Agriculture Farm Related Commercial or Industrial: means premises directly related to agriculture uses including but not limited to canneries, dairies and farm implement sales and service.

Agri-Tourism and Value Added Use: means farm based business activities that cater to the travelling public and agriculture tourism and which support promote and sustain the viability of the agriculture operation. These uses are secondary and subordinate to the principal farm operation and include but are not limited to farm markets, restaurants related to a winery, bed and breakfast, road side produce stands, pick your own facilities, farm mazes, agriculture related special event facilities, agriculture education and research facilities and uses and practices that support the day to day farm operations.

Amenity Space: means an area providing space for outdoor recreation or leisure.

Animal Care Establishment: means any premises for the caring, grooming, and training of household pets without outdoor pens, or exercise areas but does not include overnight accommodation.

Apartment Building: means a building containing five or more dwelling units each with its own entrance either separately or from a common vestibule, stairway or hallway.

Attached Building: means a building complete in itself which shares a roof or wall in common with an adjacent building or buildings.

Balcony: means a platform projecting from the face of a wall or walls, cantilevered or supported by columns or brackets, located above the grade of the ceiling height of the first storey above the basement and usually surrounded by a balustrade or railing and may be covered.

Basement: means the portion of a building partly underground having more than one half its height below the grade at the main entrance.

Bed and Breakfast: means a home based business within a dwelling unit wherein rooms or beds are rented for a period not exceeding 28 consecutive days, and meals are served to overnight guests.

Boat Ramp: means a sloped surface designed for launching and retrieving watercraft to and from a body of water.

Building: means any structure, used for the shelter of persons, animals, goods or equipment having a roof which is supported by columns or walls.

Car Wash: means premises used for washing vehicles.

Cemetery: means premises used for the interment of the dead, and including but not limited to columbaria, mausoleums, crematoria and crypts.

Chord: means a straight line that joins ends of an arc.

Commercial Parking Lot: means a stand alone parking area whether or not for remuneration

Common Wall: means a vertical wall separating two or more buildings from the base of the footing to the roof line and shall be mutually common to all buildings.

Community Garden: means an area of land managed and maintained by a group of individuals for the purpose of cultivation of plants for personal consumption.

Complying: means in keeping with the quantitative requirements of this By-law.

Conforming: means a use which is permitted by this By-Law in the zone category in which the use is located.

Conservation/Natural Area: means land that is used to preserve, protect and/or improve components of the natural heritage and/or natural hazard land system.

Cultural Facility: means premises used for the purposes of educational entertainment including but not limited to museums, libraries and art galleries.

Day Care: means premises caring for persons for a portion of a day, but does not include overnight accommodation.

Deck: means a structure without a roof which may or may not be attached to one or more walls of a building but shall not include a landing or stairs.

Drive-thru: means facility which provides or dispenses products or services to persons remaining in motorized vehicles that are in a stacking lane designated for that purpose.

Dwelling, Detached: means a building containing one principal dwelling unit.

Dwelling, Duplex: means a building that is divided horizontally into two dwelling units each with an entrance either independent to the exterior or through a common vestibule.

Dwelling, Fourplex: means a building that is divided vertically and/or horizontally into four separate dwelling units each with an entrance either independent to the exterior or through a common vestibule.

Dwelling, Semi-Detached: means building that is divided vertically into two principal dwelling units each with an independent entrance to the exterior.

Dwelling, Stacked Townhouses: means a building containing six or more dwelling units where each pair of dwelling units are divided horizontally and vertically and in which each dwelling unit has an independent entrance to the exterior.

Dwelling, Street Townhouse: means townhouse dwelling units where each unit has frontage on a public road.

Dwelling, Townhouse: means a building that is divided vertically into three or more dwelling units, each with an independent entrance to the exterior.

Dwelling, Triplex: means a building that is divided vertically and/or horizontally into three dwelling units in which each dwelling unit has an independent entrance to the exterior or through a common vestibule.

Dwelling Unit: means a self-contained housekeeping unit of one or more rooms containing cooking, living quarters, sleeping quarters and sanitary facilities for the exclusive use of those residing within the dwelling unit with an exclusive entrance.

Dwelling Unit, Apartment: means a dwelling unit in a mixed use building.

Dwelling Unit, Detached Accessory: means a separate building on a lot containing a dwelling unit which is subordinate and secondary to the principal dwelling unit located on the same lot.

Dwelling Unit, Interior Accessory: means a separate and complete dwelling unit that is contained within the principal dwelling.

Emergency Service Facilities: means a premises for the provision of fire, ambulance and/or police services.

Floor Area: means the area of all floors in a building or structure calculated from the interior surface of the exterior walls, exclusive of cellars, basements, garages, carports or porches.

Grade: means the final elevation of the ground surface of a lot after completion of development or construction.

Greenhouse: means a building or structure used for the cultivation and propagation of plants.

Gross Floor Area: means the sum of all floor areas of a building(s) or structure(s) measured from the interior wall surface of the exterior walls.

Height: means the vertical distance of a building or structure.

Help House: means a dwelling unit used for accommodation of persons employed in the operations of an agricultural use on the lot.

Home Based Business: means a use conducted within a dwelling unit which is secondary to the primary residential use of the dwelling unit.

Home Industry: means a use conducted by the residents of a dwelling unit wholly within an accessory building and which is secondary to the main agricultural use on the lot.

Hotel / Motel: means a building(s) that provide temporary accommodation to the public for a period not exceeding 28 consecutive days, and may include independent cooking facility and ancillary uses such as but not limited to restaurants, retail and service commercial uses, meeting and convention facilities, banquet facilities, recreation and entertainment facilities, and may include one dwelling unit.

Industry, Heavy: means a premises used for:

- a) the manufacture or processing of products from raw materials;
- b) the production or use of flammable, explosive or other hazardous materials;
- c) outdoor processing of products and materials;
- d) obnoxious, dangerous or offensive trades.

Industry, Light: means a premises used for:

- a) the manufacture, processing, assembly, or packaging of finished parts or products from previously prepared materials;
- b) the repair or servicing of products.

Light Industry does not include obnoxious, dangerous or offensive trades.

Kennel: means any premises where four or more dogs or cats are maintained, boarded, trained, bred or cared for in return for remuneration or kept for the purposes of sale.

Landscape Buffer: means an open area on a lot used exclusively for the growing and maintenance of grass, trees, shrubs and other horticultural elements and shall not be used for any other purpose except where a driveway and/or sidewalk cross the landscape buffer.

Landscaped Open Space: means a space used for the growth and maintenance of grass, flowers, shrubs, or similar landscape material and includes walkways, patios, in ground swimming pools, playgrounds and similar facilities but excludes driveways, parking areas, ramps, retaining walls and curbs.

Large Motor Vehicle: means a motor vehicle in excess of 3600 kg as registered with the Ministry of Transportation and shall also include a tractor trailer used for hauling purposes, earth moving equipment, and tractors, truck or farm vehicles.

Loading Space: means an unobstructed open or covered area used to provide access to a loading door, platform or bay.

Long Term Care Facility: means a building or part thereof for persons in need of accommodation, food, nursing and/or similar care and treatment.

Lot: means a plot of land having fixed boundaries.

Lot Area: means the total horizontal area within the boundaries of a lot.

Lot Area, net: means the lot area excluding:

- i) lands conveyed for parkland dedication and/or public road widening;
- ii) lands within a Conservation/Natural Area (G1) zone
- iii) lands subject to a minimum buffer requirement of an upper tier government or agency where the lands subject to the buffer requirement can not be included within a required yard.

Lot Coverage: means the percentage of the lot area covered by buildings or structures, but does not include an inground pool.

Lot Frontage: means the horizontal distance between interior side lot lines, or the distance between an exterior side lot line and an interior side lot line.

Lot Line: means the lines that make up the legally defined boundaries of a lot.

Lot Line, Exterior Side: means the longest lot line along a public road.

Lot Line, Front: means the shortest lot line along a public road.

Lot Line, Interior Side: means a lot line that extends from a front lot line to a rear lot line and does not front along a public road.

Lot Line, Rear: means the lot line which is opposite to the front lot line.

Machinery: means an apparatus with two or more moving parts powered or driven by a power source other than muscular power.

Major Transit Station: means a multi modal transit facility having arrival, departure transfer and layover facilities.

Marina: means a building, structure or place containing docking facilities and located on a navigable waterway, where boats or boat accessories are stored, serviced, repaired, launched or kept for sale and where a full range of marine services may be provided including but not limited to fuelling and sewage pump out facilities, showers, foodstuffs, and laundry facilities, and ancillary restaurants.

Motor Vehicle Repair Garage: means a building or structure in which mechanical repairs on motor vehicles including painting and body repairs are performed and may include a motor vehicle gas station.

Motor Vehicle Sales / Rental Service Centre: means premises where new and used vehicles are kept for sale, lease or rent and may include a motor vehicle repair garage.

Motor Vehicle Gas Station: means premises for the retail sale of gasoline, diesel fuel, lubricants and associated automotive fluids and may include a propane filling station.

Night Club: means an establishment offering live or recorded music for entertainment, and which may include the sale of liquor and/or food to club patrons, but does not include an adult oriented entertainment establishment.

Off Farm Products: means products that are not produced on the agricultural lot.

Office: means a building or part thereof where administrative and clerical functions are carried out in the management of a business, profession, organization, or public administration.

Operating Apparatus: means outdoor mechanical equipment or machinery used in conjunction with buildings or structures including but not limited to air conditioners, pool pumps and pool heaters, generators, heat exchangers and compressors.

Parking Area: means a lot, or a part thereof used for the temporary storage of vehicles and shall not include landscaped open spaces or landscape buffers.

Parking Structure: means structure used for the parking of motor vehicles but does not include a garage, or a carport accessory to a detached, semi-detached or duplex dwelling.

Place of Assembly / Banquet Hall: means a premises providing a room or rooms to accommodate gatherings of people for events including but limited to trade shows, banquets, weddings and conventions.

Place of Worship: means a building, structure or part thereof, which is primarily used for the practice of religion and faith-based spiritual purposes wherein people assemble for faith based worship and teachings, fellowship and community social outreach. A Place of Worship may contain small scale and subordinate classroom facilities for teaching to the principal attendant congregation of the Place of Worship of faith based doctrine only. Place of Worship facilities are not to be used for the purpose of a commercial, independent, not-for-profit, public or private school whether registered or not with the Provincial Ministry of Education.

Pool, Above Ground: means a pool used for recreational swimming with a superstructure 0.6m above grade, or greater.

Pool, In-ground: means a pool used for recreational swimming with a superstructure that is less than 0.6m above grade.

Porch: means a platform structure attached to a main wall or walls of a building having a roof.

Principal: means the primary use of land or a building.

Private Road Development: means an arrangement of residential dwellings on a private road wherein each dwelling unit may or may not have lot frontage on a public road.

Public Road: means a road or highway under government jurisdiction.

Recreation Facility: means a premises used for participatory and/or spectator-oriented recreation and entertainment uses, may include ancillary office, restaurant, retail and service commercial uses.

Research Facility: means a premises for research, investigation, testing, or experimentation which may include engineering and product development.

Restaurant: means a building or part thereof where food and drinks are prepared and sold for consumption either on or off the premises.

Retail Store: means a building or part thereof where goods, wares, and new or used merchandise is offered for sale to the public.

Service Commercial: means a non-retail commercial use.

Setback: means the distance of a building or structure to a lot line.

Shopping Centre: means a premises of primarily commercial uses that is designed, developed and managed as a cohesive unit either in a single building or in multiple buildings on the same lot or on abutting lots. A shopping centre shall be considered to be on one lot for zoning interpretation purposes.

Sight Triangle: means an unobstructed triangular area where the front lot line and exterior side lot line meet on a corner lot.

Social Service Facility: means a premises providing counseling advocacy, dispensing of aid and including, but not limited to crisis centre, emergency shelter.

Storey: means the portion of a building situated between the top of any floor and the ceiling above it, or the top of the floor above it but does not include a basement.

Structure: means anything constructed or erected having a fixed point on or in the ground or attached to building or structure having a fixed point on or in the ground.

Tandem: means the parking of one motor vehicle directly behind another.

Theatre: means any premises devoted to the presentation of live entertainment, performances or the showing of films but shall not include a nightclub or adult oriented entertainment establishment.

Transportation Depot: means any premises where large motor vehicles, buses, or taxis are parked may include dispatching and administrative offices and vehicle servicing.

Winery: means a premises used for the processing of fruit, fermentation, production, bottling, aging and storage of wine as a secondary use to a vineyard and/or fruit farm located on the same lot.

Yard, Exterior Side: means the land between the exterior side lot line and the specified distance to where buildings or structures may be located, extending from the front yard to the rear yard.

Yard, Front: means the land between the front lot line and the specified distance to where buildings or structures may be located, extending from interior side lot lines, or an exterior side lot line and an interior side lot line.

Yard, Interior Side: means the land between an interior side lot line and the specified distance to where buildings structures may be located extending from the front yard to the rear yard.

Yard, Rear: means the land between the rear lot line and the specified distance to where buildings or structures may be located, extending between the interior side lot lines, or an exterior side lot line and an interior side lot line.

Yard, Required: means the land between a specified lot line and the specified distance to where a building or structure may be located.

SECTION 13 SPECIAL PROVISIONS

Where special provisions are established for certain lands, the applicable regulations of the special provisions apply in addition to, or as an exception to, the normal zone provisions that apply to the subject lands.

Where on Schedule A to this By-law, a zone symbol (e.g. R1) applying to lands contains a suffix at the end of the zone symbol consisting of a dash and number (e.g. R1-1), this indicates that a special provision applies to the subject lands. The number after the dash corresponds with the special provision number as set out in Section 13. There may be more than one number and, hence, special provision, that applies to certain lands (e.g. R1-1, 14).

All other provisions of this By-law, not mentioned in this section shall continue to apply.

13.1 List of Special Provisions

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
1	R3	14		8 Dixie Road	
For an apartment building the following applies:					
1.	Minimum lot frontage			45 m	
2.	Minimum lot area			4100 m ²	
3.	Minimum front yard			17 m	
4.	Minimum rear yard			15 m	
5.	Minimum setback from south lot line			8 m	
6.	Minimum setback from north lot line			12 m	
7.	Maximum height			9 m	
8.	Maximum building coverage			30%	
9.	Minimum parking			1.75 spaces per dwelling unit	
10.	Minimum landscaped open space			40%	
11.	Minimum landscape buffer along the Dixie Road frontage			3 m	
12.	Minimum landscape buffer along the rear lot line			3 m	

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
2		I2	9	1	585 Niagara Street	
1.	Permitted uses: Area 'A', 'B' and 'C'			-	Apartment Building (Retirement Residence) Apartment Building (Condominium) Private Road Development Dwelling street townhouse Place of Worship	
2.	Minimum Density (Area 'A', 'B' and 'C')			-	20 units per hectare	
3.	For Area 'A' on Schedule B1 a Dwelling Apartment Building, Retirement Residence or Condominium is permitted subject to the following provisions: <u>Apartment Building (Retirement Residence)</u>					
	a)	Minimum lot area			0.5 ha	
	b)	Minimum lot frontage (Niagara Street)			30 m	
	c)	Minimum front yard (Niagara Street)			9 m	
	d)	Minimum yard			North - 7.5 m South - 23 m West - 15 m	
	e)	Minimum width of landscape buffer along southerly property line			7.5 m	
	f)	Maximum lot coverage			35%	
	g)	Minimum landscaped open space			40%	
	h)	Minimum parking			1.0 space per retirement residence dwelling unit	
	i)	Minimum width of landscape buffer along Niagara Street			3 m	
	j)	Maximum building height			15 m	
	k)	Maximum unit size of a retirement residence dwelling unit			One bedroom - 65 m ² Two bedrooms - 79 m	
	l)	An apartment building (retirement residence) means an apartment building with dwelling units intended to accommodate the aged. Dwelling units may or may not include space independently devoted for cooking, dining, recreation or fitness activities.				
	m)	No day care or schools shall be permitted as accessory uses. Accessory uses shall be permitted only for the residents of the retirement residence, their guests, and staff.				
	<u>Apartment Building (Condominium)</u>					

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
2		I2	9	1	585 Niagara Street	
	a)	Minimum lot area			0.5 ha	
	b)	Minimum lot frontage (Niagara Street)			30 m	
	c)	Minimum front yard (Niagara Street)			9 m	
	d)	Minimum yard			North - 7.5 m South - 23 m West - 15 m	
	e)	Minimum width of landscape buffer along southerly property line			7.5 m	
	f)	Maximum lot coverage			35%	
	g)	Minimum landscaped open space			40%	
	h)	Minimum parking			1.75 spaces per dwelling unit	
	i)	Minimum width of a landscape buffer along Niagara Street			3 m	
	j)	Maximum building height			15 m	
4.	For Area ‘A’ and ‘B’ on Schedule B1, Private Road Development shall be permitted subject to the following:					
	a)	Minimum lot area -			0.5 ha	
	b)	Minimum lot frontage			30 m	
	c)	Minimum yard			North - 7.5 m South - 8 m East - 9 m West - 8 m	
	d)	Maximum lot coverage			40%	
	e)	Minimum landscaped open space			35%	
	f)	Minimum landscape buffer adjacent to Maplewood Drive and Niagara Street			3 m	
	g)	Minimum parking			2 spaces per dwelling unit shall be provided, one space shall be provided in a garage and the second space shall be provided in the driveway in front of the garage.	
					1.25 spaces shall be provided per retirement residence dwelling unit	

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
2		I2	9	1	585 Niagara Street	
	h)	Maximum building height			two (2) storeys to a maximum of 7.5 m	
	i)	A private road development (retirement residence) means townhouse dwellings intended to accommodate aged persons with individual dwelling units being a maximum of 88 m ² .				
	j)	Minimum setback from garage to any internal private road shall be 6 m.				
	k)	Garages shall not project more than 1.0 m beyond the front face of the building.				
	l)	Driveways shall be twinned for abutting units.				
5.	For Area ‘B’ and ‘C’ on Schedule B1, Street Townhouse Dwellings shall be permitted subject to the following provisions: <u>Street Townhouse Dwellings</u>					
	a)	Maximum attached principal dwelling units			8	
	b)	Minimum lot area			190 m ² per unit	
	c)	Minimum lot frontage			5.5 m per unit at the front lot line	
	d)	Minimum front yard setback			6 m	
	e)	Minimum side yard setback			1.2 m except that a common wall may be centred on the side lot line	
	f)	Minimum rear yard setback			6 m	
	g)	Maximum building height			2 storeys to a maximum of 7.6 m	
	h)	Minimum parking required			2 parking spaces per dwelling unit. Tandem parking shall be permitted.	
	i)	Maximum lot coverage			50%	
	j)	A minimum of 50% of the front yard shall be landscaped open space				
	xi)	A parking area permitted in the front yard only, shall not exceed 50% of the front yard				
	k)	Garages shall not project more than 1.0 m beyond the front face of the building.				
	l)	Driveways shall be twinned for abutting units.				
6.	For Area ‘D’ on Schedule B1 – The following special requirements shall apply to permitted uses and building accessory thereto.					

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
2		I2	9	1	585 Niagara Street	
	a)	Minimum yard			North (Linwell Road) – 1.0 m East (Niagara Street) – 3.5 m	

Special Provision	Zone	Schedule A	Location	By-law
3	R2	9	289 Vine Street	
Permitted uses: a private road development containing only detached dwellings, townhouse dwellings.				
1.	Maximum Number of Townhouse Dwelling units		4 units	
2.	Maximum Number of Detached Dwellings units		2 units	
3.	Minimum lot area		2694 m ²	
4.	Minimum lot frontage		13.1 m	
5.	Minimum front yard		27.4 m	
6.	Minimum side yard		North - 3.0 m South - 3.0 m East - 1.2 m	
7.	Minimum rear yard		6.1 m	
8.	Maximum lot coverage		35%	
9.	Minimum landscaped open space		25%	
10.	Minimum number of parking spaces		2.0 spaces per dwelling unit which may be provided in tandem formation.	
11.	Each dwelling unit shall have a garage			
12.	Maximum building height		1 storey to a maximum of 6.7 m	

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
4		R3	9, 15		397, 401 & 403 Carlton Street	
1.	Permitted uses					
	a)	Apartment building			A maximum of 124 apartment dwelling units shall be permitted	
	b)	Commercial			Convenience retail stores, personal service businesses, business and professional offices but not clinics, shall also be permitted only where located on the ground floor of any apartment building with a minimum residential density of 85 units per ha. The total gross leasable floor area (glfa) for all commercial uses shall not exceed 930 m ² . The total gross leasable floor area (glfa) per individual commercial use shall not exceed 280 m ²	
2.	The following provisions shall apply to an apartment building:					
	a)	Maximum building height			36 m	
	b)	Building podium			An apartment building greater than four storeys in height shall have a defined podium section which shall range in height from 6.0 to 11.0 m. Upper floors above the fourth storey shall be setback at least 2.0 m from the outside edge of this podium.	
	c)	Minimum yard requirements From front lot line (Carlton Street):			6.0 m for portions of the building less than 11.0 m in height 10.0 m for portions of the building between 11.1 – 28.0 m in height; and 13.0 m for portions of the building taller than 28.1 m in height.	
		From interior side lot line:			Half the building height for that portion of the building.	
		From rear lot line:			Half the building height for that	

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
4		R3	9, 15		397, 401 & 403 Carlton Street	
					portion of the building.	
	d)	Maximum lot coverage			50%	
	e)	Landscape buffer:			A minimum 3 m wide along the side and rear lot lines.	
	f)	Outdoor common amenity area:			One or more common outdoor amenity areas shall be provided which are not smaller than 5% of the lot area. These amenity areas shall not be located within the required landscape buffer, but may be provided above grade on rooftops or terraces.	
	g)	Location of parking and driveways			No parking spaces or drive aisles shall be located between the front building wall and street.	
	h)	Minimum Parking Requirement:			1.5 parking spaces per apartment dwelling unit larger than 61 m². For apartment dwelling units 61 m² and under, 1.0 parking spaces per apartment dwelling unit shall be required.	
Note: Holding Provision H12 also applies to the subject lands.						

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
5		E1	18	2	1242 Fourth Avenue 1262 Fourth Avenue 1296 Fourth Avenue 1958 Third Street Louth	
1.	In addition to the principal uses in Section 7.2 Business Commercial Employment (E1), service commercial shall be a principal use. The lands described as Areas 1, 2 and 3 on Schedule B2, shall be subject to the following special provisions:					
	a)	Minimum lot frontage			30 m	
	b)	Minimum lot area			2000 m ²	
	c)	Maximum building coverage			40%	
	d)	Maximum building setback from Fourth Avenue and Third Street Louth			28 m	
	e)	Minimum building setback from Fourth Avenue and Third Street Louth			10 m	
	f)	Minimum building setback from all other streets			6 m	
	g)	Minimum building façade width			60% of lot frontage along Third Street Louth 60% of lot frontage along Fourth Avenue	
	h)	Minimum side yard			6 m or ½ height of building whichever is greater	
	i)	Minimum rear yard			7.6 m	
	j)	Minimum rear yard from CN right of way			5 m	
	k)	Maximum building height:			10 m at 10 m from any property line, 25 m at 20 m from any property line, 40 m at 30 m or more from any property line.	
	l)	Parking Structures will be subject to the following provisions:				
		i)	Maximum lot coverage		40%	
		ii)	Minimum side yard		15 m	
		iii)	Minimum rear yard		30 m	
		iv)	Minimum rear yard from CNR right of way		5 m	
		v)	Maximum height		20 m	
	m)	No parking structures are permitted within 28 m of Fourth Avenue and Third Street Louth				

Special Provision			Zone	Schedule A	Schedule B	Location	By-law
5			E1	18	2	1242 Fourth Avenue 1262 Fourth Avenue 1296 Fourth Avenue 1958 Third Street Louth	
	n)	Minimum landscape buffer adjacent to Fourth Avenue and Third Street Louth				10 m	
	o)	Minimum landscape buffer adjacent all other streets				6 m	
	p)	Minimum landscaped open space				20%	
	q)	Minimum landscape buffer abutting Francis Creek drainage channel				15 m	
	r)	No outdoor storage, outdoor display or outdoor compounds including compounds for commercial fleet vehicles shall be permitted.					
	s)	Loading bays, loading spaces and loading docks are only permitted in the rear yard.					
2.		In addition to the principal permitted uses outlined in Section 1, the lands described as Area 2 on Schedule B2 shall also permit: a) The required parking for the hospital complex located to the east b) Long-Term Care Facility.					
3.	Area 1 on Schedule B Map 2 shall be subject to the following restrictions:						
	a)	No external loading bays, loading spaces or loading docks shall be permitted.					
	b)	Drive-thru facilities shall not be permitted.					
4.	The lands described as Areas 1, 2, and 3 on Schedule B2 shall also permit the following accessory uses:						
	a)	Restaurant					
	b)	Retail store					
5.	All accessory uses shall be subject to the following special provisions:						
	a)	The total gross leasable floor area of all combined accessory uses on a lot is restricted to a maximum of 20% of the gross leasable floor area of the principal use(s) on the lot.					
	b)	The total gross leasable floor area of all combined accessory retail stores on a lot is restricted to a maximum of 10% of the gross leaseable floor area of the principal use(s) on the lot.					
	c)	Each individual accessory use is restricted to a maximum of 190 m ² of gross leasable floor area, with the exception of restaurants which are restricted to a maximum of 500 m ² gross leasable floor area.					
	d)	No parking is required for accessory uses.					
	e)	Retail store is not permitted where an accessory showroom with the same principal use.					

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
5		E1	18	2	1242 Fourth Avenue 1262 Fourth Avenue 1296 Fourth Avenue 1958 Third Street Louth	
	f)	All accessory uses are subject to the same provisions as a principal use with the exception of parking.				
	g)	All accessory uses must be contained within the same building as the principal uses(s) with the exception of restaurants which may be in a free standing building.				
6.	The lands described on Schedule B Map 2 shall be subject to the following definitions:					
	a)	Prestige employment uses: means any operation or activity related to the production or handling of any article or service on a non-retail basis and shall include assembly, manufacturing testing, researching, designing, delivering, warehousing, wholesaling, storage, cleaning, servicing, experimenting, scientific investigation with a wholly enclosed building without outdoor storage, outdoor display or outdoor compounds including compounds for commercial fleet vehicles, and where no fumes, emissions, odours, noise or vibration are generated. It shall not include mini-storage, truck terminals or automobile service and repair.				
	Note: Holding Provision H3 also applies to the subject lands.					

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
6	R2	6, 7		Various Port Dalhousie Cottage Area	
1.	OUTDOOR PRIVACY ZONE: a minimum outdoor privacy zone shall be provided on each lot immediately adjacent to the main building and shall represent an area equal to 40% of the total floor area of the dwelling unit. The privacy zone shall be uninterrupted outdoor area at grade for the purpose of recreation and leisure activities, and shall have at least a dimension of 4.5 m and shall not be located in the front yard. The outdoor privacy zone may be calculated as part of the landscaped open space.				
2.	Permitted Use			Single detached dwelling	
	Minimum lot area			232 m ²	
	Minimum lot frontage			12 m	
	Minimum interior side yard			1 m	
	Minimum front yard			3 m	
	Minimum exterior side yard			3 m	
	Maximum rear yard			1 m	
	Maximum height			7.5 m	
	Minimum landscaped open space			25%	
	Maximum lot coverage			40%	

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
7	R2 R3	6, 7		Various Port Dalhousie Cottage Area	
Maximum Height – 9 m					

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
8	C2	7	B3 a, b, & c	16, 20, 20A, 22 Lock St 1 Hogan’s Alley 12 Lakeport Road 11 Main Street	
1.	Areas 1, 2 and 3 identified on Schedule B3, shall be subject to additional provisions, as follows:				
	a)	Only the following permitted uses - Office - Restaurant - Retail store - A Theatre - Service Commercial - Apartment Dwellings Units over and behind any forgoing use - A residential building up to a maximum of 80 dwellings units and up to 17 storeys, but not to exceed 62 m in height, <i>only</i> in conjunction with the following: - A minimum of 3,600 m ² of retail, restaurant and office space, and - A hotel with a minimum of 70 rooms; and - A theatre with a minimum seating capacity of 400 seats.			
	b)	The following site specific provisions shall apply to Areas 1, 2 and 3, identified on Schedule B3a:			
		i)	Minimum Building Setbacks from the property line shall be in accordance with Schedule B3b or if the project is proceeding without Areas 2 and 3, in accordance with Schedule B3c.		
		ii)	Maximum Height limits shall be permitted in accordance with Schedule B3a or if the project is proceeding without Areas 2 and 3, in accordance with Schedule B3c.		
		iii)	Maximum Lot Coverage (including outdoor plaza and public observation terrace) 100%		
		iv)	Minimum Open Space Accessible to the Public <ul style="list-style-type: none">• 27% of the total site area, including the outdoor plaza and public observation terrace.		

Special Provision			Zone	Schedule A	Schedule B	Location	By-law
8			C2	7	B3 a, b, & c	16, 20, 20A, 22 Lock St 1 Hogan's Alley 12 Lakeport Road 11 Main Street	
		v)	Parking Minimum required parking for the hotel, 1 space per room and minimum required parking for the residential uses 1.75 spaces per condominium dwelling unit and 1.5 spaces per rental dwelling unit shall be provided underground. Parking for the theatre shall be provided at a rate of one (1) parking space for every four (4) seats of seating capacity. Minimum required parking for the theatre shall be provided by either or both of the following:				
			• on-site underground parking;				
			• off-site parking in the public parking lot in Lakeside Park, satisfactory to the Municipality;				
			No more than 37 of the on-site underground parking spaces required by this Section 3 ii) e) may be provided as Tandem Parking Spaces.				
		vi)	Setback from the G3 boundary – 0 m; except that one exterior stair case and one ramp to service underground parking and service areas shall be permitted to encroach into the G3 Zone.				
		vii)	There shall be no requirement to provide useable recreational space for the <i>exclusive</i> use of each dwelling unit, however, recreational facilities shall be provided as common facilities for the hotel and residential uses.				
		viii)	All privately owned open space uses, namely the outdoor plaza and public observation terrace, shall be accessible to the public by easement.				
		ix)	Building materials shall be subject to the terms of the site plan agreement, heritage easement agreements and any other agreements deemed necessary to secure building materials sympathetic to the established heritage character.				
		x)	For the purposes of this by-law, the following definitions shall apply:				
			<ul style="list-style-type: none">• Grade shall mean the elevation of the finished surface of the ground of Hogan's Court, as identified in Schedules B3b and B3c.• Height shall mean the vertical distance of a building between grade, as defined, and the highest point of the roof.• Tandem Parking Spaces shall mean an area of not less than 30 m² for the temporary parking or storage of up to 2 motor vehicles, or an area of not less than 45 m² for the temporary parking or storage of up to 3 motor vehicles, where access to the parking space for each vehicle may require the moving of another vehicle. Tandem parking shall only be allowed if operated by valet service.				
Note: Holding Provisions H4 and H5 also applies to the subject lands.							

Special Provision	Zone	Schedule A	Location	By-law
9	C2	7	Port Dalhousie Core	
1.	Ground floor dwelling units are not permitted			
2.	Retail stores are permitted on upper floors only in conjunction with a ground floor commercial use			
3.	Maximum height – 11 m			
4.	Non-residential uses are exempt from the parking requirements of Section 3.13.2 of this By-law.			

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
10	C2	7		Port Dalhousie Core	
1.	Notwithstanding Section 6.4 of this By-law provision of maximum percentage of total ground floor GFA per use shall not apply.				
2.	Administrative offices of a marina and boat slips shall be permitted.				

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
11	A3	17, 18		Various	
In addition to the uses permitted in A3: b. Existing retail store and/or c. Existing motor vehicle gas station and/or d. Existing motor vehicle repair garage.					

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
12	C1	8		411 Lake Street	
1.	A side yard of 3.0 m shall be required.				
2.	A minimum of 23 parking spaces shall be required.				
3.	A minimum front yard of 3.0 m shall be required.				
4.	No outdoor storage, sales or displays shall be permitted.				

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
13	R4	7, 13	4	81 and 85 Scott Street	
1.	The lands described as Area 1 on Schedule B4 shall be used for no other purpose than one of the following uses:				
	a)	An apartment building and building and structures accessory thereto; or			
	b)	An apartment building continuing an accessory recreational centre for the exclusive use of residents of the apartment buildings which are located on the lands described as Area 1, Area 2 and Area 3 on Schedule B4 and which recreational centre may include one or more of the following uses: 2. Racquetball courts to a maximum of 4; 3. Gymnasium 4. Swimming pool; 5. Rooms or facilities accessory to the foregoing uses; and, Buildings and/or structures accessory to the foregoing uses.			
2.	The lands described as Area 1 on Schedule B4 shall be subject to the following special requirements:				
	a)	That the building setback from the south lot line be not less than 14 m;			
	b)	That the building setback from the east lot line be not less than 6 m;			
	c)	i)	That the minimum building setback fro the west lot line be a distance equal to one-half of the building height;		
		ii)	That the minimum building setback from any portion of the south-west lot line be a distance equal to one-half of the building height or the minimum distance shown on Schedule B4 attached hereto, whoever is the lesser distance;		
	d)	That the building setback from the north lot line be a distance equal to not less than one-half the height of the building;			
	e)	That the maximum building height be 11 storeys or 34 m;			
	f)	That parking be provided in accordance with the following standards;			
		i)	Not less than 1.25 parking spaces for each dwelling unit;		
		ii)	10 parking spaces for any accessory recreational centre;		
	g)	That the total building and structure coverage shall not exceed 60% of the total lot area when a parking structure is constructed on the lands;			
	h)	That any attached or detached parking structure or ramp shall not exceed 4 m in height;			
	i)	Notwithstanding the provisions of 2(c) and 2(d) noted above, any attached or detached parking structure or ramp shall be located not less than 3 m from the north, west and south-west lot line;			
	j)	That the maximum coverage for a detached parking structure shall be 25% of the total lot area;			

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
13		R4	7, 13	4	81 and 85 Scott Street	
	k)	that the minimum amount of landscaped open space shall be 33% of the total lot area;				
3.	The lands described as Area 2 and 3 on Schedule B4, shall be used for no other purpose than apartment buildings and structures accessory thereto.					
4.	The lands described as Area 2 and Area 3 on Schedule B4 shall be subject to the following special requirements;					
	a)	That the building setback from the street line be not less than 6 m;				
	b)	That the building setback from the west and east lot line be not less than one-half the height of the building;				
	c)	That the building setback from the north lot line shall be not less than the height of the building;				
	d)	That the building setback from the south lot line be not less than one-half the height of the building;				
	e)	That the maximum building height be 8 storeys or 25 m;				
	f)	That the total building and/or structure coverage shall not exceed 50% of the total lot area when a parking structure is constructed on the lands;				
	g)	That any attached or detached parking structure or ramp shall not exceed 4 m in height;				
	h)	Notwithstanding the provisions of Section 6(ii), (iii) and (iv) noted above, any attached or detached parking structure or ramp shall be located not less than 3m from any side lot line; and be located not less than 6 m from the north (rear) lot line;				
	i)	That the maximum coverage for a detached parking structure shall be 25% of the total lot area;				
	j)	That the minimum amount of landscaped open space shall be 33% of the total lot area;				
	k)	That not less than 1.25 parking spaces be provided for each dwelling unit.				

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
14		G1 R3	13	5	174 Martindale Road	
1.	The lands described as Area 1 on Schedule B5 shall be used for purposes of townhouse dwellings and buildings accessory thereto, subject to the following;					
	a)	Minimum Lot Frontage			25.0 m along a private road	
	b)	Minimum setback from private road			3.0 m for main building	
	c)	Minimum setback from Conservation/Natural Area (G1) Zone			0 m	
	d)	Minimum setback from Business Commercial Employment (E1) Zone			3.0 m	
	e)	Minimum setback from property lines between townhouse blocks			1.2 m	
	f)	Maximum number of attached dwelling units			7	
	g)	Maximum building height			2 storeys	
	h)	Minimum parking requirement			1.75 spaces per unit. In addition, tandem parking shall be permitted.	
	i)	Minimum distance between buildings			2.4 m	
	j)	Minimum lot coverage			40%	
	k)	Minimum landscaped open space			25%	
	l)	Minimum amenity space			20 m ² per dwelling unit	
2.	Outdoor raised decks for any townhouse dwelling in Area 1 be permitted to encroach no more than 3.0 m into Area 2 on Schedule B5.					

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
15	G1 R3	13	6	172 Martindale Road 1 to 31 Black Walnut Common	
1.	Private Road Developments on the lands shown as Area 1 on Schedule B6 shall be subject to the following:				
	a)	Maximum number of dwelling units		16	
	b)	Minimum lot frontage		0 m	
	c)	Minimum setback from private road		3.0 m to main dwelling 6.0 m to garages	
	d)	Minimum setback from Conservation/Natural Area (G1) Zone		2 m	
	e)	Minimum setback from property line between multiple attached dwelling blocks		1.0 m	
	f)	Maximum number of attached principal dwelling units		7	
	g)	Maximum building height		10.8 m	
	h)	Minimum parking requirement - 2.4 spaces per dwelling unit. In addition tandem parking shall be permitted and is defined as one parking space located behind another parking space where both spaces are for the exclusive use of one dwelling unit.			
	i)	Maximum lot coverage		40%	
	j)	Minimum landscaped open space		25%	
	k)	Maximum number of an interior accessory dwelling units per principal dwelling unit		1	
	l)	Maximum floor area of an interior accessory dwelling unit		74.32 m ²	
	m)	For the purposes of this By-law, interior accessory dwelling unit means a second dwelling unit within a private road development.			

Special Provision	Zone	Schedule	Schedule B	Location	By-law
16	R3	13	7	40 Tulip Tree Common	
1.	In addition to the permitted uses of the Medium Density Residential (R3) Zone, a bed and breakfast inn, a business office or a business office as a home based business shall be permitted on the lands shown as Part 2 on Schedule B7,				
2.	A business office or a business office as a home based business shall be subject to the following:				
	a)	Maximum Gross Floor Area		84 m ²	
	b)	Minimum Parking for Business Office		1 parking space per 19 m ²	
	c)	A business office, or a business office as a home based business, shall include a real estate sales office for the initial sale only of new dwellings located in the Village on the Twelve development within Lots 2, 3, and 4, registered Plan 30M-167			
	d)	Minimum Interior Side Yard		7.5 m	
	e)	Minimum Landscape buffer Along interior Side Lot Lines		1.0 m	
	f)	Maximum number of employees		3	
3.	Bed and breakfast inn shall be subject to the following provisions:				
	a)	Maximum number of bed and breakfast rooms		5 (excluding the owner's residence)	
	b)	Minimum setback from private road		3.0 m to principal dwelling	
	c)	Minimum parking requirement		1 parking space per bed and breakfast room and 2 parking spaces for the owner	
	d)	Maximum height for accessory building		6 m	
	e)	Minimum setback for accessory building from east property line		1.0 m	
	f)	Minimum landscaped open space		25%	

Special Provision	Zone	Schedule A	Location	By-law
17	R3	13	38 Tulip Tree Common	
A detached dwelling shall be subject to the following provisions:				
1.	Minimum lot area		280 m ²	
2.	Minimum lot frontage measured at private road		8 m	
3.	Minimum setback from private road		6 m	
4.	Minimum interior side yard		1.0 m	
5.	Minimum rear (east) yard		2 m	
6.	Maximum building height		9 m	
7.	Maximum lot coverage		45%	
8.	Maximum parking requirement		2 parking spaces per dwelling unit. Tandem parking shall be permitted.	

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
18	R3	13		164 & 164A Martindale Road	
1.	Permitted uses – one apartment building with a maximum of 32 dwelling units.				
	a)	Maximum height		16 m	
	b)	Minimum setback from private road		3.0 m	
	c)	Minimum setback from west property line (Division between Lots 1 and 2, Plan 30M-167)		3.0 m	
	d)	Minimum parking requirement		1 parking space per dwelling unit	
	e)	Minimum landscaped open space		25%	
2.	Permitted uses - private road development - Interior accessory dwelling unit shall be permitted				
	a)	Maximum height		10.8 m	
	b)	Minimum setback from private road		3.0 m to dwellings 6.0 m to garages	
	c)	Minimum setback from south property line		1.0 metre	
	d)	Minimum setback from west property line (Division between Lots 1 and 2, Plan 30M-167)		1.0 metre	

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
18		R3	13		164 & 164A Martindale Road	
	e)	Minimum interior side yard for detached and semi-detached dwellings			1.0 metre	
	f)	Minimum parking requirement			1.75 spaces per dwelling unit. Tandem parking shall be permitted.	
	g)	Minimum landscaped open space			25%	
	h)	Minimum setback from property line between multiple attached dwelling blocks			1.0 m	
	i)	Maximum number of attached units			7 units	
	j)	Maximum number of accessory dwelling units per multiple attached, semi-detached or single detached dwelling unit			1 unit	
	k)	Maximum floor area of interior accessory dwelling unit			74.4 m ²	

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
19		R3	13		168, 168A, 170 Martindale Road 30 Black Walnut Common 2 and 36 Tulip Tree Common	
1.	Permitted uses: One apartment building with a maximum of 32 dwelling units					
	a)	Maximum height			16 m	
	b)	Minimum setback from private road			3.0 m	
	c)	Minimum parking requirement			1 parking space per unit	
	d)	Minimum landscaped open space			25%	
2.	Permitted uses: private road development					
	a)	Maximum height			10.8 m	
	b)	Minimum setback from private street			2.0 m to main dwellings 6.0 m to garage	
	c)	Minimum parking requirement			1.75 spaces per unit. Tandem parking shall be permitted.	
	d)	Minimum landscaped open space			25%	
	e)	Minimum setback from property line and between dwellings			1.0 m	
	f)	Maximum number of attached units			7 units	
	g)	Maximum number of accessory dwelling units per multiple attached dwelling unit			1 unit	
	h)	Maximum floor area of accessory dwelling unit			74.32 m ²	
	i)	Interior Accessory Dwelling Unit is permitted in a private road development.				
3.	Permitted uses: Bed and Breakfast Inn					
	a)	Maximum number of Bed and Breakfast rooms			8 (excluding owner's residence)	
	b)	Maximum height to the peak of the building			16 m	
	c)	Minimum setback from private street			3.0 m	
	d)	Minimum parking requirement			1 parking space per bed and breakfast room and two spaces for the owner	
	e)	Minimum landscaped open space			25%	

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
20	M1	19		230 Louth Street	
Notwithstanding the provisions of Section 8 the contrary, in addition to the permitted uses of the M1 Zone, the lands be permitted to be used for Heavy Industrial providing the use complies with the zone provisions of the E2 Zone and shall include the right for the existing use of the site to undergo internal conversions and external additions to provide for a heavy industrial facility and related warehouse space.					
Note: Holding Provision H6 also applies to the subject lands.					

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
21	R3	13		59 Wellandvale Road	
Notwithstanding the provisions of Section 5 the contrary, in addition to the permitted uses of R3 Zone, the lands be permitted to be used for manufacturing providing the use complies with the zone provisions of the E2 Zone and shall include the right for the existing use of the site to undergo internal conversions and external additions to provide for a manufacturing facility and related warehouse space.					
Note: Holding Provision H1 also applies to the subject lands.					

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
22	I2	25		125 and 141 Vansickle Road	
1.	Additional permitted uses: <ul style="list-style-type: none">- Private park;- Apartment building;- And buildings accessory thereto.				
2.	The use of an apartment building shall be subject to the following requirements:				
	a)	Minimum lot area: 100 m ² for the first 11 dwelling units plus 90 m ² for each additional dwelling unit;			
	b)	Minimum lot frontage: 18 m			
	c)	Minimum front yard: 23 m from property line;			
	d)	Minimum side yard: 12 m			
	e)	Minimum rear yard: 14 m			
	f)	Maximum building height: 5 storeys to a height no greater than 14 m			
	g)	Maximum building coverage: 40% of lot area;			

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
22		I2	25		125 and 141 Vansickle Road	
	h)	Minimum landscaped open space: 20 m ² per dwelling unit;				
	i)	Maximum number of dwelling units: 50				
	j)	Minimum parking spaces: 1 parking space per dwelling unit.				

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
23		R3	19	8 a & b	179 Rykert Street	
1.	The lands shown as Part 1 on Schedule B8a shall be subject to the following:					
	a)	Permitted uses		Detached dwellings Semi-detached dwellings		
	b)	Minimum lot frontage		10.2 m for detached dwellings 17 m for a semi-detached dwelling (8.5 m per dwelling unit)		
	c)	Minimum lot area		271 m ² for a single detached dwelling 452 m ² for a semi-detached dwelling (226 m ² per dwelling unit)		
	d)	Maximum lot coverage		45%		
	e)	Minimum front yard		5.2 m to dwelling unit 6.0 m to a garage		
	f)	Minimum exterior side yard		4.0 m		
	g)	Minimum interior side yard		1.2 m		
	h)	Minimum parking		2.0 spaces per dwelling unit (tandem parking is permitted)		
	i)	Maximum front yard parking area for detached dwellings		30% of the width of the front yard, or a maximum width of 3.0 m, whichever is less		
		For semi-detached dwellings		40% of the width of the front yard or a maximum width of 3.0 m, whichever is less		
	j)	Garages		Attached garages shall be recessed back a minimum of 1.2 m from the front face of the dwelling or front edge of a porch or deck located in the front yard; and that the garage for the single detached dwelling at the corner of Rykert Street and Westland Street be located within the building envelope as shown on Schedule B-8.		

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
23	R3	19	8 a & b	179 Rykert Street	
2.	The lands shown on Schedule B8b shall be subject to the following:				
	a)	Permitted uses	An apartment building		
	b)	Minimum lot frontage	23.0 m		
	c)	Minimum lot area	0.43 ha		
	d)	Minimum front yard	6.0 m		
	e)	Minimum rear yard	7.5 m		
	f)	Maximum height	11.0 m		

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
24	E1	8, 15, 16		Various	
Additional uses: Motor Vehicle Sales/Rental Service Centre Requirements of Section 6, C3 Uses shall apply to the Motor Vehicle Sales/Rental Service Centre.					

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
24	E2	19		2012 and 2032 First Street Louth 399 Vansickle Road	
In addition to E1 uses all principal E2 shall be permitted and shall be subject to E1 provisions.					

Special Provision	Zone	Schedule	Schedule B	Location	By-law
26	E2	19	9	362 St. Paul Street West, 10-66 Commerce Place	
1.	Maximum building height			7.5 m	
2.	Minimum landscape buffer along St. Paul Street West			7.5 m. No driveways shall be allowed to cross the landscape buffer.	
3.	The definition of landscape buffer for the purposes of this Special Provision shall be defined to include vegetative plantings of a height which collectively will provide a				

	continuous and complete visual barrier along St. Paul Street West and shall not be subject to a height limit.
4.	No parking areas, loading spaces or accessory buildings are permitted between a principal building and the lot line along St. Paul Street West

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
27	E1	13		218, 222 & 250 Martindale Road	
Additional permitted use: Contractor's yard Contractor's yard shall be subject to E2 provisions.					

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
28		R3	28	10	61 Village Road	
1.	The lands shows Area 1 on Schedule B10 shall be subject to the following:					
	a)	Permitted uses:			Detached dwelling; Semi-detached dwelling; Private Road Development; Apartment building; and any use building or structure accessory to any of the above permitted uses.	
	b)	Maximum building height: Apartment building: detached dwelling, semi-detached dwelling, and private road development			13.0 m 11.0 m	
	c)	Minimum building setbacks				
		i)	From northerly property line adjacent to Glen Morris Drive:		3.0 m	
		ii)	From easterly property line:		3.0 m	
		iii)	From southerly property line:		12.5 m	
		iv)	Minimum separation between buildings:		3.0 m, except where the separation is between two garages, in which case the minimum separation shall be 1.0 m	
		v)	Minimum setback from a private road		3.0 m to the dwelling; 6.0 m to a garage	
	d)	Accessory structures:			Accessory structures shall not be permitted in the yard adjacent to Glen Morris Drive.	
	e)	Landscape buffer			Landscape Buffer shall be defined as landscaped open space with densely planted trees and other vegetation which provide significant height and that serve as visual barriers. These buffers may also contain fencing.	
		i)	A minimum of 5.5 m wide landscape buffer along the southerly lot line.			
		ii)	A minimum 5.5 m wide landscape buffer along the easterly lot line, to the south of the Jacobson Avenue access.			
		iii)	A minimum 3.0 m wide landscape buffer along the easterly lot line, to the north of the Jacobson Avenue access.			
	f)	Minimum landscaped open space			20%	
	g)	Fencing			Decorative fences with a maximum height of 1.2 m shall be permitted	

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
28		R3	28	10	61 Village Road	
					along the Glen Morris Drive frontage. This fencing shall be of an open-type construction, which shall not include chain link. Solid fences shall not be permitted in the yard abutting Glen Morris Drive.	
	h)	Minimum parking requirement detached and semi-detached dwelling units and private road developments:			2.0 spaces per dwelling unit. Tandem parking is permitted. The minimum dimensions of a required parking space in a private garage shall be 3.2 m x 5.4 m.	
	i)	Apartment building			1.3 spaces per dwelling unit	
2.	The lands as shown as Area 2 on Schedule B10 shall be subject to the following:					
	a)	Permitted uses:			Detached dwelling; semi-detached dwelling; private road development; and any use, building or structure accessory to any of the above permitted uses.	
	b)	Maximum building height			11.0 m	
	c)	Minimum setbacks				
		i)	From northerly property line adjacent to Glen Morris Drive		1.2 m	
		ii)	From easterly zone boundary adjacent to G1 zone:		3.5 m	
		iii)	From southerly lot line:		3.0 m	
		iv)	From westerly lot line adjacent to Village Road		3.0 m	
		v)	Landscape buffer		A minimum 3.0 metre wide landscape buffer shall be provided along the southerly property line. A landscape buffer with a a minimum width of 1.0 m shall be provided along the westerly lot line, adjacent to parking areas through the use of landscaping and/or a decorative fence/wall. The maximum height of this buffer shall be 1.2 m.	
	d)	Minimum landscaped open space			20%	
	e)	Fencing			Decorative fencing with a maximum height of 1.2 m shall be permitted along the Glen Morris Drive	

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
28		R3	28	10	61 Village Road	
					frontage. This fencing shall be of an open-type construction, which shall not include chain link. Solid fences shall not be permitted in the yard abutting Glen Morris Drive.	
	f)	Encroachments			Architectural projections such as verandas, which may or may not be covered, will be permitted to encroach into a required setback to a maximum of 2.5 m. Encroachments will not be permitted within sight triangle, to be measured diagonally at 4.5 m from the intersection.	
	g).	Minimum parking requirement			2.0 parking spaces per dwelling unit. Tandem parking is permitted. The minimum dimensions of a required parking space in a private garage shall be 3.2 m x 5.4 m.	
	h)	Visitor parking			0.25 spaces per unit.	

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
29	R3	20		7 Riverview Boulevard	
Apartment building shall be subject to the following provisions:					
1.	Minimum landscaped open space			21%	
2.	Minimum number of parking spaces			0.9 spaces per unit including 2 accessible spaces	
3.	Minimum front yard setback			4.5 m	
4.	Minimum setback from Riverview Boulevard			6.0 m	
5.	Minimum setback from south property line			14.0 m	
6.	Minimum rear yard setback (west lot line)			6.0 m	

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
30	C4	19		294-310 Fourth Avenue	
Provisions:					
1.	Minimum parking		1 parking space per 22 m ² gross leasable floor area including restaurants		
2.	Minimum landscaped open space		25%		
3.	Minimum width of a landscape buffer		3.0 m along Fourth Avenue, First Street, and Burbank Drive		
4.	Minimum yard		6.0 m along Fourth Avenue and Burbank Drive 4.0 m along First Street		
5.	Maximum yard		30.0 m along Fourth Avenue and First Street		
6.	Minimum distance between Buildings on the same lot		2.0 m		
7.	Maximum building height		9 storeys. Height is restricted to 3 storeys within 10 m of a street line		
8.	Ground level facades for all buildings facing, and within 30 m of Fourth Avenue and First Street shall include clear glazing along at least 70% of the combined length of such building facades.				
9.	Drive thrus and stacking lanes shall not be located in a yard abutting Fourth Avenue or First Street, except that a drive thru for a bank only shall be permitted at the corner of First Street and Fourth Avenue, providing it meets the following design criteria:				
	a)	the drive thru is designed with a portico attached to and forming part of the bank building.			
	b)	landscaping shall be provided as a visual screen for the drive thru from the public road.			
Note: Holding Provision H14 also applies to the subject lands					

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
31		R2	20, 26		Various	
1.	Permitted uses:		detached dwelling semi-detached dwelling duplex dwelling triplex dwelling fourplex dwelling any use, building or structure accessory to any of the above permitted uses			
2.	Regulations for a detached dwelling.					
	a)	Minimum parking: 2.0 spaces per dwelling unit shall be required, tandem parking is permitted				
	b)	Minimum landscaped open space 50% of the lot area				
	c)	Minimum landscape buffer: 3.0 m wide along the rear lot line, or 3.0 m along the interior side lot line where the lot has a exterior side yard on Glenridge Avenue.				
2.	Regulations for a semi-detached dwelling.					
	a)	Minimum parking			2.0 spaces per dwelling unit. Tandem parking is permitted.	
	b)	Minimum landscape buffer			3.0 m wide along the rear lot lie, or, 3.0 m along the interior side lot line where the lot has a exterior side yard on Glenridge Avenue	
3.	Regulations for a duplex dwelling house					
	a)	Minimum parking			2.0 spaces per dwelling unit for rental units and 1.75 spaces for condominium units. Tandem parking is permitted.	
	b)	Minimum landscape buffer			3.0 m wide along the rear lot line, or, 3.0 m along the interior side lot line where the lot has a exterior side yard on Glenridge Avenue	
	c)	Maximum dwelling unit size			93 m ²²	
4.	Regulations for a triplex dwelling					
	a)	Minimum parking			2.0 spaces per dwelling unit for rental units and 1.75 spaces for condominium units. Tandem parking is permitted.	
	b)	Minimum landscaped buffer			3.0 m wide along the rear lot line, or, 3.0 m along the interior side lot line where the lot has a exterior side yard on Glenridge Avenue	
	c)	Minimum flanking yard			4.0 m	
	d)	Maximum dwelling unit size			93 m²	

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
31	R2	20, 26		Various	
5.	Regulations for a fourplex dwelling				
	a)	Minimum parking	2.0 spaces per dwelling unit shall be required for rental units and 1.75 spaces shall be required for condominium dwelling units. Tandem parking is permitted.		
	b)	Minimum landscaped buffer	3.0 m wide along the rear lot line, or 3.0 m along the interior side lot line where the lot has an exterior side yard on Glenridge Avenue		
	c)	Minimum exterior side yard	4.0 m		
	d)	Maximum dwelling unit size	93 m ²		

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
32		A1	5, 11		1617 & 1627 North Service Road	
1.	Additional permitted uses:					
	a)	Cottage Winery to a maximum of 1,394 m²				
	b)	Farmer's Market to a maximum of 929 m²				
2.	Provisions for Cottage Winery and Farmers Market					
	a)	Minimum lot area: 6 ha				
	b)	Minimum lot frontage: 60 m				
	c)	Minimum side yard: 15 m				
	d)	Minimum front yard: 15 m				
	e)	Minimum exterior side yard: 15 m				
	f)	Minimum rear yard: 15 m				
	g)	Maximum height: 11 m				
	h)	Maximum lot coverage for all buildings: 3.7%				
	i)	Parking: 1 space for every 19 m² of gross leasable retail floor area.				

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
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33	A3	18		1535 Fourth Avenue	
Additional Permitted Use:					
1.	Detached dwelling – detached dwelling shall be subject to A1 provisions.				

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
34		A3 & A1	13, 19	11	1179 Fourth Avenue	
1.	Additional permitted uses in Area 1 as shown on Schedule B11 Farm Market Retail Wine Sales Outlet					
2.	Provisions: for Farm Market					
	a)	Minimum lot area: 0.4 ha				
	b)	Minimum lot frontage: 30 m				
	c)	Minimum side yard: 6 m				
	d)	Minimum front yard: 12 m				
	e)	Minimum flanking yard: 12 m				
	f)	Minimum rear yard: 7.5 m				
	g)	Maximum height: 14 m				
	h)	Maximum lot coverage for all building and structures: 30%				
	i)	Minimum parking requirement: 1 parking space for every 19 m² of gross leasable floor space.				
3.	Provisions for retail wine sales outlet					
	a)	Maximum floor area of retail wine sales outlet: 140 m²				
	b)	Minimum flanking yard: 10.6 m				
4.	Additional permitted uses in Area 2 as shown Schedule B11: Cottage Winery					
5.	Provisions:					
	a)	Maximum floor area of cottage winery: 186 m²				

Special Provision	Zone	Schedule A	Location	By-law
35	A1	17	2100 Seventh Street	
Permitted uses:				
1.	Agriculture uses			
2.	One detached dwelling only as an accessory use to a greenhouse			
3.	Agri-tourism uses shall be permitted only as an accessory use to a permitted agriculture use.			
For an agri-tourism use, the following provision shall apply:				
1.	Maximum floor area: 400 m² based on a minimum farm parcel size of 5.6 ha			

Special Provision	Zone	Schedule A	Location	By-law
36	A1	17, 18	1552 St. Paul Street West	
1.	Additional use – home industry without an agriculture use.			
2.	Provisions for home industry:			
	a)	Maximum gross leasable floor area of the accessory structure to be used for home industry: 232.3 m ²		
	b)	Minimum parking spaces: 12		
	c)	Maximum full time non-resident employees: 3		
	d)	Maximum photography students: 2		

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
37		A3	19	12	2403-2411 First Street Louth	
1.	Area 1 on Schedule B12					
	a)	Additional Permitted use: Precast Concrete Manufacturing Facility				
	b)	Provisions				
		i)	Minimum lot area: 0.4 ha			
		ii)	Minimum lot frontage: 30 m			
		iii)	Minimum side yard: 6 m			
		iv)	Minimum landscape buffer, north and south side yards: 6 m			
		v)	Minimum front yard: 12 m			
		vi)	Minimum rear yard: 7.5 m			
		vii)	Maximum height: 14 m			
		viii)	Maximum lot coverage for all building and structures excluding storage areas: 30%			
		ix)	Minimum parking requirement: 40 parking spaces			
2.	Area 2 on Schedule B12					
	a)	Additional Permitted Use: storage area for a concrete manufacturing facility				
	b)	Minimum landscape buffer North and south yards: 6 m West yard: 10 m				

Special Provision	Zone	Schedule A	Location	By-law
38	A3	25	2534 First Street Louth	
Additional Permitted use: retail store				

Special Provision	Zone	Schedule A	Location	By-law
39	A1	25	1165 Eighth Avenue	
Additional permitted use: 1) Two detached dwellings				

Special Provision	Zone	Schedule A	Location	By-law
40	R2	14	105 Westchester Crescent 80 Argyle Crescent	
Provisions for private road development				
1.	The front lot line shall be the lot line that divides the lot from Argyle Crescent			
2.	Minimum lot frontage (Argyle Crescent)		13.7 m	
3.	Minimum lot area		4100 m ²	
4.	Minimum front yard from private road to front face of a garage		6.0 m	
5.	Minimum front yard from private road to front face of dwelling		4.5 m	
6.	Minimum distance between end units		1.3 m; 0 m along common walls between units	
7.	Minimum rear yard		7.5 m	
8.	Minimum side yard where dwellings abut 74, 76, 78, 82, 84, 86 Argyle Crescent		1.2 m	
9.	Minimum parking		2.0 spaces per dwelling unit, one space shall be provided in a garage and the second space shall be provided in the driveway in front of the garage	
10.	Each dwelling unit shall have a garage			
11.	Minimum visitor parking		1.0 spaces for every 4 dwelling units or part thereof	
12.	No accessory buildings or structures shall be permitted within the minimum required rear yard			
13.	Maximum height		9.0 m	

Special Provision	Zone	Schedule A	Location	By-law
41	R3	15	16 Melbourne Street	
An apartment building and a recreation facility (indoor, or outdoor) shall be subject to the following requirements:				
1.	Maximum number of apartment dwelling units: 140			
2.	Maximum building height: 50 m			
3.	Minimum front yard for buildings over 3 storeys in height shall be 115 m			
4.	Minimum front yard for buildings under 3 storeys in height shall be 50 m			
5.	The indoor recreation facility shall have a minimum floor area of 1000 m ²			
6.	Minimum side yard adjacent to Highway 406: 13.7 m			
7.	Side yard adjacent to Princess Park: 0 m			
8.	Rear yard : 0 m			
9.	Parking for recreation facility (indoor, or outdoor) shall be in accordance with Section 3 of this Zoning By-law			
10.	Minimum landscaped open space: 7.5%			

Special Provision	Zone	Schedule A	Location	By-law
42	R4	15	290 Oakdale Avenue	
Parking Provisions: 1.25 parking spaces for each dwelling unit				

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
43	R2	21	13	38 Lincoln Avenue	
1.	Additional permitted use on Areas A, B on Schedule B13: Apartment Building				
2	Provisions for an apartment building in Area A on Schedule B13				
	a)	Maximum building height: 3 storeys to a maximum of 11 m			
	b)	Minimum westerly yard: 15 m as shown on Schedule B13. Westerly yard other than that shown on Schedule B13 shall be in accordance with Section 5 of the Zoning By-law.			
3.	Area B on Schedule B13 is subject to the following special provisions:				
	a)	Minimum easterly side yard: 7.5 m or the height of the building, whichever is greater.			
4.	Minimum density for Areas A and B as shown on Schedule B13: 20 units per hectare.				

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
44		R2	21	14	176 Oakdale Avenue	
1.	Area 1 on Schedule B14 is subject to the following provisions for semi-detached dwellings					
	Minimum lot area per dwelling unit				185 m ²	
	Minimum lot frontage per dwelling unit				5.5 m	
	Minimum side yard				0.9 m	
	Minimum front yard from Oakdale Avenue				3.0 m	
2.	Area 2 on Schedule B14 is subject to the following provisions for semi-detached dwellings					
	Minimum lot area per dwelling unit				170 m ²	
	Minimum lot frontage per dwelling unit				5.4 m	
	Minimum side yard				0.9 m	
	Minimum front yard from Oakdale Avenue				3.0 m	
3.	Area 3 on Schedule B14 is subject to the following provisions for semi-detached dwellings					
	Minimum lot area per dwelling unit				260 m ²	
	Minimum lot frontage per dwelling unit				12.4 m	
	Minimum side yard				0.9 m	
	Minimum front yard				1.5 m	
4.	For Area 3 on Schedule B14:					
	a)	Lot frontage shall be measured along the private common driveway				
	b)	Front yard shall be measured from the private common driveway				
5.	Notwithstanding Section 2.10 permitted encroachments shall not be permitted into the minimum side yard, except for eaves and gutters for Areas 1 and 2 on Schedule B14.					
6.	For Areas 1 and 2 on Schedule B14, all parking areas and garages shall be located between the rear lot line and the rear wall of the main building.					
7.	The lands identified as Area 4 on Schedule B14 and zoned G2 are subject to the following special provisions: Permitted uses: public or private park					
Note: Holding Provision H15 also applies to the subject lands.						

Special Provision	Zone	Schedule A	Location	By-law
45	R2	21	122 Oakdale Avenue	
A fourplex shall be subject to the following provisions:				
1.	Minimum lot area		820 m ²	
2.	Minimum lot frontage on Oakdale Avenue		15 m	
3.	Minimum lot frontage on Smythe Street		4.5 m	
4.	Minimum front yard		6.0 m	
5.	Minimum rear yard		20 m	
6.	Minimum side yard		0.75 m	
7.	Minimum parking		1.5 spaces per rental unit (6 parking spaces). No accessible parking spaces are required.	
8.	Maximum lot coverage		30%	
9.	Minimum landscaped open space		40%	
10.	Maximum front yard parking – a parking area permitted in the front yard (Oakdale Avenue) shall not exceed 50% of the front yard or a maximum width of 7.5 m whichever is less			
11.	Minimum size of dwelling unit		37 m ²	

Special Provision	Zone	Schedule A	Location	By-law
46	R3	21	41 Oakdale Avenue	
Provisions for detached, semi-detached, duplex and street townhouse dwellings:				
1.	Minimum front yard to front face of garage		6.0 m from front lot line	
2.	Minimum front yard to front face of dwelling		3.0 m from front lot line	
3.	Minimum exterior side yard		1.5 m from lot line (Oakdale Avenue) 2.0 m from lot line (Elm Street road allowance)	
4.	Maximum width of front yard parking		3.1 m or half the width of the street townhouse dwelling unit, whichever is greater.	
Note: Holding Provision H1 also applies to the subject lands.				

Special Provision	Zone	Schedule A	Location	By-law
47	R3	15	40 Woodburn Avenue	
Provisions for apartment building				
1.	Minimum lot frontage		10 m	
2.	Minimum yard from the Municipal Golf Course		6 m	
3.	Minimum northerly side yard		10 m	
4.	Minimum rear yard (west)		13.5 m	
5.	Minimum landscape buffer		4 m along side and rear lot lines abutting an R2 zone	
6.	Balconies		Balconies shall be permitted to encroach 1.2 m into any required yard.	
Note: Holding Provision H8 also applies to the subject lands.				

Special Provision	Zone	Schedule A	Location	By-law
48	M1	14	132 Lake Street	
For an apartment building, the following provisions shall apply:				
1.	Minimum lot area		760 m ²	
2.	Minimum lot frontage		15.0 m	
3.	Minimum front yard		0.0 m	
4.	Minimum side yard		North – 0.09 m South – 3.9 m	
5.	Minimum rear yard		7.5 m	
6.	Maximum lot coverage		25%	
7.	Minimum landscaped open space		25%	
8.	Minimum number of parking spaces		7	
9.	Minimum dwelling unit area		55.7 m ²	

Special Provision	Zone	Schedule A	Location	By-law
49	R2	14	26½ George Street	
For a triplex dwelling the following provisions shall apply:				
1.	Minimum lot area		140 m ²	
2.	Minimum lot frontage		7.9 m	
3.	Minimum front yard		0.3 m	
4.	Minimum side yard		North – 0 m South – 0 m	
5.	Minimum rear yard		1.2 m	
6.	Maximum lot coverage		90%	
7.	Minimum landscape open space		0%	
8.	Minimum number of parking spaces		0	

Special Provision	Zone	Schedule A	Location	By-law
50	E2	15	141 Eastchester Avenue	
Additional permitted uses: Service Commercial as a principal use. Service Commercial uses shall comply with the C2 provisions of this By-law				

Special Provision	Zone	Schedule A	Location	By-law
51	R2	15	63 Vine Street South	
Additional permitted use: One 9 unit apartment building				
1.	Minimum lot area		1.2 ha	
2.	Minimum lot frontage		25 m	
3.	Maximum building height		8.5 m	
4.	Minimum parking		1.65 parking spaces per unit	
5.	Minimum rear yard		5.0 m	
6.	Minimum side yard		North side – 1.2 m East side – 3.3 m South side – 11.0 m	
7.	Maximum lot coverage		38%	
8.	Maximum parking area		44%	
9.	Minimum landscaped open space		18%	

Special Provision	Zone	Schedule A	Location	By-law
52	R2	14	25 Ottawa Street	
1.	Additional permitted use: apartment building			
2.	Provision for apartment building			
	a)	Maximum number of dwelling units	11	
	b)	Minimum lot area	590 m ²	
	c)	Minimum lot frontage	14 m	
	d)	Minimum front yard	12 m to the front lot line	
	e)	Minimum side yard	3 m east 1.6 m west	
	f)	Minimum rear yard	2.3 m	
	g)	Maximum lot coverage	40%	
	h)	Maximum building height	2 storeys	
	i)	Minimum parking	5 spaces	
	j)	Minimum landscape buffer	2.1 m width	

Special Provision	Zone	Schedule A	Location	By-law
53	R3	14	15 Gibson Place	
Additional permitted use: office				

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
54	R3	14	15	7 Gibson Place	
Private Road Development shall be subject to the following:					
1.	Maximum number of dwelling units			42	
2.	Minimum lot area			1.1 ha	
3.	Minimum lot frontage (Gibson Place)			19 m	
4.	Building setbacks shall be in compliance with the building envelopes shown on Schedule B15				
5.	Maximum lot coverage			40%	
6.	Minimum landscaped open space			35%	
7.	Minimum number of parking spaces			2.0 spaces per dwelling unit. One parking space shall be provided in a garage and the second space shall be provided in the driveway in front of the garage	
8.	Each dwelling unit shall have a garage				
9.	Maximum building height			Two (2) storeys to a maximum of 7.6 m	
10.	Maximum attached units			8 units	

Special Provision	Zone	Schedule A	Location	By-law
55	R2	14	20 Norris Place	
No parking shall be required.				

Special Provision	Zone	Schedule A	Location	By-law
56	R2	14	14 Norris Place	
<ul style="list-style-type: none">• Additional permitted use: apartment building• Parking: 1 space per apartment dwelling unit				

Special Provision	Zone	Schedule A	Location	By-law
57	R4	14	77 Yates Street	
1.	Additional Use: Apartment Building			
	a)	Minimum front yard	0.9 m from the front property line on Yates Street	
	b)	Minimum side yard	0.9 m (north side); 1.5 m (south side)	
	c)	Maximum number of dwelling units	35 units	
	d)	Maximum lot coverage	39%	

Special Provision	Zone	Schedule A	Location	By-law
58	R4	14	Former Hotel Dieu Site	
1.	Additional permitted uses only in conjunction with a residential use <ul style="list-style-type: none">• Office• Retail store• Service commercial Above uses only permitted on the ground floor.			
2.	Density: 60 to 198 units per ha			

Special Provision	Zone	Schedule A	Location	By-law
59	R4	14	1 to 39 Durksen Drive	
Street townhouse dwellings shall be subject to the following:				
1.	Maximum attached dwellings units		8	
2.	Minimum lot area		90 m²	
3.	Minimum lot frontage		4.5 m at the front lot line	
4.	Minimum front yard		2 m to the dwelling unit 6m to the garage	
5.	Minimum side yard		1 m except that a common wall may be centred on the side lot line	
6.	Minimum rear yard		2 m (abuts Ontario Street)	
7.	Minimum exterior side yard		1.0 m	
8.	Maximum building height		12 m	
9.	Minimum parking equipment		2.0 spaces per dwelling unit (tandem parking is permitted)	
10.	Maximum lot coverage		70%	
11.	Maximum front yard driveway coverage		70%	

Special Provision	Zone	Schedule A	Location	By-law
60	R2	16	Waterways Estates	
For Detached Dwellings: Minimum interior side yard = 1 m				

Special Provision	Zone	Schedule A	Location	By-law
61	R3	16	54 Mackenzie King Boulevard	
Density per hectare -Minimum 23 units -Maximum 99 units				

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
62		R3	22	16	527 Glendale Avenue	
1.	Minimum number of units as shown on Schedule B16				Area 1 = 24 Area 2 = 8 Area 3 = 20	
2.	Detached Dwellings are subject to the following provisions:					
	a)	Minimum lot area			270 m ²	
	b)	Minimum lot frontage			11.0 m	
	c)	Minimum front yard from the <ul style="list-style-type: none">Front face of the garageFront face of the dwelling unit			6.0 m 3.0 m	
	d)	Minimum rear yard <ul style="list-style-type: none">Lots with a depth of less than or equal to 29.0 m = 6.0 mLots with a depth greater than 29.0 m = 7.5 m				
	e)	Minimum exterior side yard			3.0 m	
	f)	Minimum interior side yard			1.2 m	
	g)	Maximum lot coverage			50%	
	h)	Maximum building height			11.0 m	
	i)	Minimum number of parking spaces			2 spaces per dwelling unit	
3.	Street Townhouse Dwellings are subject to the following provisions:					
	a)	Minimum lot area per dwelling unit			208 m ²	
	b)	Minimum lot frontage per dwelling unit			7.0 m	
	c)	Minimum front yard from the <ul style="list-style-type: none">Front face of the garageFront face of the dwelling unit			6.0 m 3.0 m	
	d)	Minimum rear yard			6.0 m	
	e)	Minimum exterior side yard			3.0 m	
	f)	Minimum interior side yard			1.2 m	
	g)	Minimum separation between two interior side walls			2.4 m	
	h)	Maximum building height			11.0 m	
	i)	Maximum lot coverage			50%	
	j)	Maximum number of attached dwelling units			7	

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
62		R3	22	16	527 Glendale Avenue	
	k)	Minimum number of parking spaces			2 spaces per dwelling unit	
4.	Provisions for Private Road Development					
	a)	Minimum yards				
		i)	Setback from north lot line 6.0 m to the rear of a dwelling unit and 3.0 m to the side of a dwelling unit			
		ii)	Setback from south lot line 6.0 m to the rear of a dwelling unit and 3.0 m to the side of a dwelling unit			
		iii)	Setback from east lot line 6.0 m to the rear of the dwelling unit, 6.0 m to the front of the dwelling unit, 3.0 m to the side of a dwelling unit, 6.0 m to the front of a garage			
		iv)	Setback from west lot line 6.0 m to the rear of a dwelling unit, 3.0 m to the side of dwelling unit			
	b)	Minimum width of a dwelling unit			6.6 m	
	c)	Building Separation				
		i)	Between two side walls		2.4 m	
		ii)	Rear wall to side wall		9.0 m	
		iii)	Rear wall to rear wall		12.0 m	
	d)	Maximum lot coverage			40%	
	e)	Minimum landscaped open space			35%	
	f)	Maximum building height			11.0 m	
	g)	Minimum number of parking spaces			2 spaces per dwelling unit	
	h)	Maximum garage width			Not to exceed 50% of the width of the dwelling unit	
5.	Provisions for Apartment Building					
	a)	Minimum frontage			65.0 m	
	b)	Maximum height			13.0 m and a height of 4 storeys	

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
63	E2	22	17	475-495 Glendale Avenue	
Areas 1, 2, 3, 4 and 5 on Schedule B17 are subject to the following special provisions:					
1.	A 3.0 m wide landscape buffer shall be provided on those areas shown on Schedule B17				
2.	Minimum building setback in a rear yard which abuts a residential zone – 15.0 m				
3.	Minimum building setback in a side yard which abuts a residential zone – 9.0 m				
4.	Outside storage of equipment, vehicles, goods and materials shall be prohibited within any side or rear yard abutting residential uses				

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
64	M1	21	18	79 Hartzel Road	
1.	Enclosed outdoor storage shall be permitted in the south west-corner of the property identified as “Area A” on Schedule B18.				
2.	A side yard setback of 5.0 m from the western property line shall be required.				
3.	A side yard setback of 2.0 m shall be required as shown on Schedule B18.				
4.	No landscape buffer shall be required in “Area A” and “Area B” on Schedule B18.				
5.	An accessory structure within “Area A” on Schedule B18 shall not be located within 0.5 m of the main building.				

Special Provision	Zone	Schedule A	Location	By-law
65	R3	22	116-118 Woodrow Street	
Apartment buildings shall be subject to the following:				
1.	Minimum front yard		9 m	
2.	Minimum rear yard		5 m	
3.	Minimum southerly side yard		4 m	
4.	Minimum landscaped open space		40%	
5.	Minimum landscape buffer		2.3 m along the front lot line (Woodrow Street)	
6.	Maximum building height		12 m	
7.	Balconies shall be permitted to encroach into a required side yard but may not project more than 1.5 m.			

Special Provision	Zone	Schedule A	Location	By-law
66	M1	21, 22	Various	
Non-residential uses shall not be subject to the parking provisions set out in Section 3.13.2. of this By-law.				

Special Provision	Zone	Schedule A	Location	By-law
67	M1	22	45 Merritt Street	
<p>Additional Permitted Use:</p> <p>Paper manufacturing providing the use complies with the zone provisions of the General Employment (E2) Zone and shall include the right for the existing use of the site to undergo internal conversions and external additions to provide for a paper converting facility and related warehouse space, however not for recycling.</p> <p>The processing or assembly of any item involving the use of any machine is prohibited unless it is conducted within a wholly enclosed building.</p>				

Special Provision	Zone	Schedule A	Location	By-law
68	C2	21	300 Glendale Avenue	
1.	Minimum parking		One space per 29 m ² of GFA	
2.	Minimum side yard abutting the rear lot lines of 19 and 21 Mountain Street		6 m	
3.	Minimum side yard abutting the side lot line of 19 Mountain Street		9 m	
4.	Minimum landscaped buffer abutting residentially zoned lands fronting on Mountain Street		5 m	
5.	Minimum landscape open space		12%	
6.	Maximum building coverage (including garden centre)		28%	
7.	Minimum rear yard		3 m	

Special Provision	Zone	Schedule A	Location	By-law
69	C3	13	318A Ontario Street	
1.	This property is exempt from Section 2.6 of this By-law.			
2.	The front lot line shall be deemed to be the westerly lot line running parallel to Ontario Street.			

Special Provision	Zone	Schedule A	Location	By-law
70	R3	13	41 Carlton Street	
Notwithstanding Section 2.3 of this By-law a maximum of two detached dwellings shall be permitted on one lot.				

Special Provision	Zone	Schedule A	Location	By-law
71	C1	14	279 Lake Street	
Provisions: Minimum parking – 6 spaces which may be in tandem Uses: One detached dwelling in addition to C1 uses. The Detached dwelling shall be subject to the requirements of Section 5.4 of this By-law..				

Special Provision	Zone	Schedule A	Location	By-law
72	C2	14	2 Dunlop Drive	
Additional Uses Permitted: Hotel/Motel				

Special Provision	Zone	Schedule A	Location	By-law
73	R3	14	112 York Street	
Minimum number of parking spaces required: 1 parking space				

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
74	R3	7	19	6-10 Dalhousie Street	
Area “A”, Area “B” and Area “C” on Schedule B19 shall be subject to the following special provisions:					
1.	Permitted use			1 single detached dwelling and 1 apartment building	
2.	Maximum number of dwelling units			16	
3.	Minimum lot area			0.2 ha	
4.	Minimum lot frontage			74 m	
5.	Minimum front yard			1.5 m	
6.	Minimum side yard			East – 1.5 m West – 0.9 m	
7.	Minimum rear yard for: <ul style="list-style-type: none">• Single detached dwelling• Condominium Apartment			7.5 m 5.0 m	
8.	Maximum height: An elevator, mechanical room, and hallway measuring no greater than 8 m by 10 m at the south east corner of the apartment shall not exceed:			9.0 m 12.4 m	
9.	Maximum lot coverage			45%	
10.	Minimum landscape open space			40%	
11.	Minimum parking			1.5 spaces per unit	
Note: Holding Provision H13 also applies to the subject lands.					

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
75		R3	4	20	39 Bromley Drive	
1.	Provisions for Single Detached Dwellings in Area A and Area B shown on Schedule B20.					
	a)	Minimum lot area			269 m²	
	b)	Minimum lot frontage			9.1 m	
	c)	Minimum front yard to front face of garage			6.0 m from front lot line	
	d)	Minimum front yard to front face of building			3.0 m from front lot line	
	e)	Minimum side yard			1.2 m	
	f)	Minimum rear yard			6.0 m 10 m from any industrial zone	
	g)	Minimum exterior side yard			3.0 m front lot line	
	h)	Maximum building height			11 m 5.5 m (one storey) on lots abutting an employment zone	
	i)	Maximum lot coverage			45%	
	j)	Minimum parking requirement			2.0 spaces per dwelling unit. Tandem parking shall be permitted.	
	k)	Attached garages shall not project beyond the front face of the dwelling.				
	l)	A 1.0 m landscape buffer shall be required along the easterly boundary of Area “A” on Schedule B20.				
2.	For Area B on Schedule B20, an apartment building and buildings accessory thereto are subject to the following special requirements.					
	a)	Minimum lot area			0.45 ha	
	b)	Minimum lot frontage			36 m	
	c)	Minimum yard			North – 7.5 m South – 15.6 m West – 16.5 m East – 12 m	
	d)	Maximum lot coverage			35%	
	e)	Minimum landscaped open space			35%	
	f)	Minimum parking			1.75 spaces per dwelling unit	
	g)	Maximum building height			16.5 m	

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
75	R3	4	20	39 Bromley Drive	
3.	Area “C” on Schedule B20 may be used for parking for the apartment building located on Area “B” as shown on Schedule B20.				

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Special Provision	Zone	Schedule A	Schedule B	Location	By-law
76	R2	3, 4	21	Broadway Gardens Subdivision	
1.	Area 1 on Schedule B21 is subject to the following provisions:				
	a)	Maximum lot coverage for accessory uses	15%		
	b)	Minimum exterior side yard	3.0 m		
	c)	Tandem parking may be permitted			
2.	Area 2 on Schedule B21 is subject to the following provisions:				
	a)	Permitted uses	Detached Dwellings and accessory uses only		
	b)	Minimum lot frontage	13.0 m		
	c)	Minimum lot area	333.0 m ²		
	d)	Maximum lot coverage	50%		
	e)	Minimum front yard to front face of a garage	6.0 m		
	f)	Minimum front yard to front face of dwelling	3.0 m		
	g)	Minimum side yard	1.2 m		
	h)	Minimum rear yard	5.0 m		
	i)	Minimum parking	2.0 spaces per dwelling unit shall be provided; tandem parking may be permitted.		
3.	Area 4A on Schedule B21 is subject to the following:				
	a)	Permitted uses	Detached Dwellings and accessory uses only		
	b)	Minimum lot frontage	10.0 m		
	c)	Minimum lot area	290 m ²		
	d)	Maximum lot coverage	50%		
	e)	Minimum front yard to front face of garage	6.0 m		
	f)	Minimum front yard to front face of dwelling	3.0 m		
	g)	Minimum side yard	1.2 m		
	h)	Minimum exterior side yard	3.0 m		
	i)	Minimum setback from a private road	3.0 m		

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
76		R2	3, 4	21	Broadway Gardens Subdivision	
	j)	Minimum rear yard			6.0 m	
	k)	Minimum parking			2.0 spaces per dwelling unit shall be provided; tandem parking may be permitted.	
4.	Area 4B on Schedule B21 is subject to the following:					
	a)	Permitted uses			Detached Dwellings and accessory uses only	
	b)	Minimum lot frontage			10.0 m	
	c)	Minimum lot area			290.0 m²	
	d)	Maximum lot coverage			50%	
	e)	Minimum front yard to front face of garage			6.0 m	
	f)	Minimum front yard to front face of dwelling			3.0 m	
	g)	Minimum side yard			1.2 m	
	h)	Minimum exterior side yard			3.0 m	
	i)	Minimum rear yard			6.0 m	
	j)	Maximum height			11 m except that within 29.0 m of the east boundary of Area 4B, the maximum height shall be 5.5 m (1 storey)	
	k)	Minimum parking			2.0 spaces per dwelling unit shall be provided; tandem parking may be permitted.	
	l)	A 1.0 m landscape buffer shall be required along the east boundary of Area 4B				
5.	Area 6A on Schedule B21 is subject to the following:					
	a)	Permitted uses			Private road development	
	b)	Minimum private road frontage per dwelling unit			10.0 m	
	c)	Maximum number of attached units			6	
	d)	Minimum setback from a private road to the garage			6.0 m	
	e)	Minimum setback from a private road to the main face of the dwelling			3.0 m	
	f)	Minimum setback from a public road to			3.0 m	

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
76		R2	3, 4	21	Broadway Gardens Subdivision	
		the dwelling				
	g)	Minimum setback from the west boundary of Area 6A			15.1 m	
	h)	Minimum setback from the south boundary of Area 6A			3.0 m	
	i)	Minimum setback from the east boundary of Area 6A			6.0 m	
	j)	Minimum distance between the rear wall faces of two dwellings			12.0 m	
	k)	Maximum height			11.0 m, except that within 10.0 m of the south boundary of Area 6A, the maximum height shall be 5.5 m (1 storey)	
	l)	Minimum parking			2.0 spaces per dwelling unit, one space shall be provided in a garage. Tandem parking is permitted.	
	m)	Maximum parking area per dwelling unit			A parking area for each dwelling unit shall not exceed 3.5 m in width	
	n)	Each pair of dwelling units shall have their driveways immediately adjacent to one another				
	o)	Minimum landscaped open space			25%	
	p)	A 3.0 m landscape buffer shall be required along the south boundary of Area 6A				
6.	Area 6B on Schedule B21 is subject to the following:					
	a)	Permitted uses			Private Road Development	
	b)	Minimum private road frontage per dwelling unit			10.0 m	
	c)	Minimum number of attached units			6	
	d)	Minimum setback from a private road to the garage			6.0 m	
	e)	Minimum setback from a private road to the main face of the dwelling			3.0 m	
	f)	Minimum setback from a public road to the dwelling			3.0 m	
	g)	Minimum setback from the southern most boundary of Area 6B (where it abuts 58 Broadway)			3.0 m	

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
76		R2	3, 4	21	Broadway Gardens Subdivision	
	h)	Minimum setback from Area 7 on Schedule B21			0.0 m	
	i)	Minimum setback from the east boundary of Area 6B			6.0 m	
	j)	Minimum distance between the rear wall faces of two townhouse dwellings			12 m	
	k)	Maximum height			11 m, except that a) within 10.0 m of the south boundary of Area 6B the maximum height shall be 5.5 m (1 storey) and b) within 34.0 m of the east boundary of Area 6B, the maximum height shall be 5.5 m (1 storey)	
	l)	Minimum parking			2.0 spaces per dwelling unit, one space shall be provided in a garage. Tandem parking is permitted.	
	m)	Maximum parking area per dwelling unit			A parking area for each dwelling unit shall not exceed 3.5 m in width	
	n)	Each pair of dwelling units shall have their driveways immediately adjacent to one another				
	o)	Minimum landscape open space			25%	
	p)	A 1.0 m landscape buffer shall be required along the east boundary and southern most boundary only of Area 6B (where it abuts 58 Broadway).				
8.	Area 7 on Schedule B21 is subject to the following:					
	a)	Permitted uses			Stormwater management facilities Landscaped open space Structures and uses accessory to the above	
	b)	A 1.0 m landscape buffer shall be required along the south boundary of Area 7.				
9.	Area 8 on Schedule B21 is subject to the following:					
	a)	Permitted uses			Stormwater management facilities Landscape open space Structures and uses accessory to the above	

Special Provision	Zone	Schedule A	Location	By-law
77	R1	3	237 Lakeshore Road	
Additional Permitted Use: Office				

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Special Provision	Zone	Schedule A	Schedule B	Location	By-law
78	C2	15, 16	22	189 Dieppe Road 185, 189, 191 Bunting Road	
1.	The following shall apply <ul style="list-style-type: none">Bunting Road shall be defined as the lot frontageDieppe Road shall be defined as the lot flankage				
2.	Notwithstanding any provision of this By-law to the contrary all provisions shall be interpreted on the basis of the lands outlined on Schedule B22 hereto as being the “lot”, and the outer boundary of the lands identified in Schedule B22 hereto, as being the “lot lines”. Any existing lot lines internal to the outer boundary of the lands identified on Schedule B22 hereto, shall not be considered lot lines for the purposes of this special provision.				
3.	Maximum lot coverage – 35%				
4.	Minimum landscaped open space – 17% (Landscaped open space means any space used for the growth and maintenance of grass, flowers, shrubs, or similar landscape material and includes, walkways, patios, inground swimming pools, playgrounds, and similar facilities but excludes driveways, parking areas, ramps, retaining walls, and curbs).				
5.	Minimum width of a landscape buffer <ul style="list-style-type: none">6.0 m along Dieppe Road6.0 m along Bunting Road				
6.	Notwithstanding the minimum width of a landscape buffer along Bunting Road, buildings shall be permitted to encroach into the landscape buffer up to 3.0 m (3.0 m from the front lot line) up to a maximum of 40% of the lot frontage.				
7.	Notwithstanding Section 3, there shall be no minimum parking space requirement.				
	Maximum parking – 1 parking space for every 19 m² of gross leasable floor area Minimum setback from north lot line – 2.0 m Minimum setback from west lot line – 5.0 m				
8.	Notwithstanding the C2 zone provisions any one use may occupy up to 45% total ground floor area.				
9.	Total maximum gross floor area 32,500 m²				
Note: Holding Provision H2 also applies to the lands.					

Special Provision	Zone	Schedule A	Location	By-law
79	M1	15, 16	525 Welland Avenue	
Notwithstanding the M1 zone provisions:				
1.	Maximum total non-residential gross floor area shall be 37,150 m ²			
2.	Provisions for maximum combined gross floor area do not apply.			

Special Provision	Zone	Schedule A	Location	By-law
80	C1	15	355, 357 and 359 Carlton Street	
1.	Minimum parking		1 space per 22.5 m ² GFA	
2.	Minimum number of commercial units		4	
3.	Maximum GFA per commercial unit		278 m ²	
4.	Maximum total commercial GFA		1950 m ²	
5.	Minimum northerly yard landscape buffer		1 m	
6.	Minimum landscape buffer all other yards		3 m	

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
81		R3	10, 16	23	583 Welland Avenue	
1.	Minimum yard from Welland Avenue				11 m	
2.	Minimum landscape buffer				4 m along Welland Avenue frontage. The definition of landscape buffer for the purpose of this site shall include vegetative plantings of a height which will collectively provide a continuous and complete visual barrier along Welland Avenue.	
3.	For the lands identified as Area 2 on Schedule B23 Apartments shall be subject to the following provisions:					
	a)	Minimum yard from Welland Avenue			11 m	
	b)	Minimum front yard from other streets			6 m	
4.	Ancillary Uses				Uses common to all dwelling units including, but not limited to, place of worship, indoor recreation facility, retail store, service commercial, and office within the apartment building shall be permitted. Total commercial use shall be no greater than 300 m², gross floor area.	
5.	Accessory Structures					
	In Area 2, no accessory structures shall be permitted within the required yard along Welland Avenue, with the exception of one gazebo as a common amenity feature for an apartment, and private road development providing it maintains a minimum 4 metre setback from Welland Avenue.					

Special Provision	Zone	Schedule A	Location	By-law
82	R3	15	Various Queenston Street	
1.	For lots fronting on Queenston Street – retail stores, service commercial, office on ground floor with residential uses shall be permitted in addition to the uses allowed in the R3 zone.			
2.	Minimum setback from Queenston Street:		3 m for first 3 stories/11 m 5 m for each additional storey	
3.	Maximum setback from Queenston Street:		4.5 m for the first 3 stories/11 m 6 m for each additional storey	
4.	Maximum height:		6 stories/20 m 12 stories/40 m when a minimum of 75% of required parking is provided underground.	

Special Provision	Zone	Schedule A	Location	By-law
83	M1	19, 20	6 Great Western Street	
Notwithstanding the provisions of Section 8 to the contrary, the lands shall be permitted to be used for the existing rail station and associated uses providing the use complies with the zone provisions of the E2 Zone and shall include the right for the existing use of the site to undergo internal conversions and to provide for the rail station and associated use.				

Special Provision	Zone	Schedule A	Location	By-law
84	M1	21, 22	Various Merritton Mixed Use	
1.	Ground floor dwelling units not permitted.			
2.	Retail stores are only permitted on upper floors only in conjunction with a ground floor commercial use.			

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
85	A1	18	24	2360 First Street Louth	
Additional Use:					
1.	A church serviced by private servicing systems (private well/cistern and private septic system) shall be permitted on the lands identified as Areas 1 and 3 on Schedule B24 attached hereto and forming part of By-law				
2.	Provisions				
	a)	Maximum building coverage		5%	
	b)	Maximum height		18.0 m	
	c)	Exterior side yard		19.0 m from First Street Louth property line 34.0 m, if the exterior side yard is located within 100 m of Rykert Street property line	
	d)	Front Yard		50.0 m from Rykert Street property line	
	e)	Landscape buffer		40.0 m along Rykert Street property line 5.0 m along First Street Louth property line	
	f)	Minimum parking		1 space per 5 people seating capacity	
	g)	Minimum rear yard		18.0 m	
	h)	Minimum interior side yard		18.0 m	

Special Provision	Zone	Schedule A	Location	By-law
86	A1	6	1230 Old Martindale Road	
Additional permitted use: The existing church on the existing lot of record as of the date of the passing of this By-law.				

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
87	B	8	25	2 White Street 307 & 309 Scott Street	
Additional permitted use:					
1.	A private road development on Area 1 & 2 on Schedule B25 shall be subject to the following: In addition to the permitted uses of the Third Density Residential (R3) zone, multiple attached townhouse dwellings shall be permitted as an additional use in Areas 1 and 2 subject to the following provisions:				
	a)	Multiple attached townhouse dwellings shall be defined as a building divided vertically into three or more dwellings units, up to a maximum of seven dwelling units each having an independent entrance fronting onto a private road.			
	b)	Minimum lot frontage on Scott Street		280 m	
	c)	Minimum setback from the rear of a dwelling unit to the closest lot line:		7.0 m	
		Minimum setback for dwelling units abutting the westerly lot line south of Wynn Street		5.0 m	
	d)	Minimum setback from the side of an end unit to the closest lot line		3.0 m	
	e)	Minimum setback from Scott Street		5.0 m	
	f)	Minimum setback from private road		3.0 m to the front face of the dwelling unit and 6.0 m to an attached garage	
	g)	Maximum building height		10.67 m	
	h)	Minimum parking required		2 parking spaces per dwelling unit Tandem parking shall be permitted	
2.	a)	Minimum density		25 units per hectare	
	b)	Maximum density		99 units per hectare	
3.	Apartment building dwelling units existing prior to the passing of this By-law, within Area 2 only, shall provide 0.5 parking spaces per dwelling unit.				
4.	Apartment buildings shall be subject to the following provisions:				
	Maximum height			13.0 m and a maximum of 4 storeys	

Special Provision	Zone	Schedule A	Location	By-law
88	E1	88	210 Martindale Road	
A restaurant shall be permitted with a maximum gross leasable floor area of up to 307 m ² , provided that:				
1.	A minimum of 73 parking spaces are provided on the entire site.			

Special Provision	Zone	Schedule A	Location	By-law
89	R3	9	413 Linwell Road	
Additional permitted uses: A seniors wellness centre, hairdresser, and meal services as permitted accessory uses that may cater to clientele that do not live on site. subject to the following special provisions:				
1.	For the purposes of this by-law a seniors wellness centre shall be defined as providing services intended for the general betterment of senior's health including but not limited to: physician, eye examination, dental, x-ray, pharmacy, laboratory services, physiotherapy, massage therapy, yoga, tai chi, foot care. The services may be provided for off-site clientele.			
2.	Maximum floor area of seniors wellness centre – 371 m ²			
3.	Maximum floor area of hairdresser – 46.5 m ²			

Special Provision	Zone	Schedule A	Location	By-law
90	R2	7	38 Dalhousie Avenue	
Additional permitted use: A dental office home based business subject to the following special provisions:				
1.	One additional employee who does not reside in the dwelling shall be permitted.			
2.	Minimum parking – 3 spaces outside of a garage.			

Special Provision	Zone	Schedule A	Location	By-law
91	C5	14	198 St. Paul Street	
Apartment dwelling units shall not be permitted				

Special Provision	Zone	Schedule A	Location	By-law
92	Varies	14	Downtown Parking Exemption	
Exempt from the parking requirements of Section 3.13.1 and 3.13.2 of this By-law.				

Special Provision	Zone	Schedule A	Location	By-law
93	Varies	14	Downtown Residential Parking Exemption	
Shall be exempt from the parking requirements of Section 3.13.1 of this By-law.				

Special Provision	Zone	Schedule A	Location	By-law
94	C5, C6	14	198 St. Paul Street 250 St. Paul Street 55 McGuire Street	
Shall be exempt from Section 6.5 of this By-law.				

Special Provision	Zone	Schedule A	Location	By-law
95	R1	7	81 Cecil Street	
A detached accessory dwelling unit shall be permitted as an additional permitted use for a period of 10 years from July 25, 2011 and shall be subject to the requirements of Section 2.2.2 of this By-law.				

Special Provision		Zone	Schedule A	Location	By-law
96		R1	2	58 Simpson Road	
1.	Permitted uses:			Private road development, detached dwellings and townhouse dwellings. A maximum of 12 dwelling units are permitted which shall not include more than 8 townhouse dwelling units.	
2.	Minimum lot area			0.6 ha	
3.	Minimum landscaped open space			40%	
4.	Maximum building height			7.5 m	
5.	Minimum yard requirements From northerly property line			3.0 m for detached dwellings and 6.0 m for townhouse dwellings	
	From easterly property line			7.5 m	
	From southerly property line			3.0 m for detached dwellings and 6.0 m for townhouse dwellings	
	From westerly property line (Simpson Road)			4.5 m	
6.	Building setback from the back of curb of a private street			3.5 m to any dwelling unit; and 6.0 m to any garage, except for the easterly end wall of townhouse dwelling which shall have a minimum garage setback of 4.0 m	
7.	Minimum separation between detached dwellings			2.4 m	
8.	Fencing			Fencing shall not be permitted in the westerly side yard abutting Simpson Road. The maximum height of any perimeter fencing shall be 1.8 m. Where a fence is located atop or abutting a retaining wall, the maximum height of said fence shall be 1.2 m.	
9.	Minimum parking requirement			2.0 spaces per dwelling unit. Tandem parking is permitted where both spaces are for the exclusive use of one dwelling unit.	
10	Visitor parking			0.4 spaces per unit.	

Special Provision	Zone	Schedule A	Location	By-law
97	A1	6, 12	1406 Third Street Louth	
Additional permitted use: golf driving range with a driving range pro shop building and accessory building shall be permitted for a temporary period of 3 years from April 18, 2011, subject to the following provisions:				
1.	Maximum number of driving range pro shop buildings		1 (to be provided in existing barn)	
2.	Maximum number of accessory buildings (storage shed)		1	
3.	Maximum floor area of driving range pro shop building		350 m ²	
4.	Maximum floor area of the accessory building		93 m ²	
5.	That parking be provided at the rate of one space for each tee box provided and one additional space be required for employee parking			

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
98		R3	13	26	1042 Vansickle Road North	
1.	The lands identified as Area 1 on Schedule B26 attached hereto and forming part of this By-law, permit detached dwellings only, subject to the following provisions:					
	a)	Minimum lot frontage			12.5 m	
	b)	Minimum lot area			500 m²	
	c)	Maximum lot coverage			50%	
	d)	Minimum front yard			6.0 m	
	e)	Minimum rear yard			7.5 m	
	f)	Minimum side yard			1.2 m for one and two storey dwellings	
	g)	Minimum flanking yard from Vansickle Road North			4.8 m	
	h)	Maximum building height			11.0 m	
	i)	Minimum landscaped open space			30%	
	j)	Minimum parking requirement			2 tandem spaces per dwelling unit	
	k)	Garages shall not project beyond the face of the dwelling.				
2.	That the lands identified as Area 2 on Schedule B26 attached hereto and forming part of this By-law, permit semi-detached dwellings only, subject to the following provisions:					
	a)	Minimum lot frontage per unit			10.0 m	
	b)	Minimum lot area per unit			335 m²	
	c)	Maximum lot coverage per dwelling unit			50%	
	d)	Minimum front yard			6.0 m	
	e)	Minimum rear yard			7.5 m	
	f)	Minimum side yard			1.2 m for one and two storey dwellings	
	g)	Maximum building height			11.0 m	
	h)	Minimum landscaped open space			30%	
	i)	Minimum parking requirement			2 tandem spaces per unit	
	j)	Garages shall not project beyond the front face of the building.				
3.	That the lands identified as Area 3 on Schedule B26 attached hereto and forming part of this By-law permit townhouse dwellings only, subject to the following					

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
98		R3	13	26	1042 Vansickle Road North	
	provisions:					
	a)	Minimum lot frontage per unit			9.5 m	
	b)	Minimum lot area per dwelling unit			335 m²	
	c)	Maximum lot coverage per dwelling unit			50%	
	d)	Minimum front yard			6.0 m	
	e)	Minimum rear yard			7.5 m	
	f)	Minimum side yard			1.2 m for one and two storey dwellings	
	g)	Maximum building height			11.0 m	
	h)	Minimum landscape open space			30%	
	i)	Minimum parking requirement			2 tandem parking spaces per unit	
	j)	Garages shall not project beyond the front face of the dwelling				
	k)	Driveways for each dwelling unit shall not exceed 50% of the width of the dwelling unit.				
4.	That the lands identified as Area 4 on Schedule B26 attached hereto and forming part of this By-law to permit one detached dwelling only, subject to the following provisions:					
	a)	Minimum lot frontage			28 m	
	b)	Minimum lot area			975 m²	
	c)	Minimum lot coverage			50%	
	d)	Minimum front yard			3.5 m	
	e)	Minimum rear yard			3 m	
	f)	Minimum side yard			7 m	
	g)	Minimum exterior side yard			11 m	
	h)	Maximum building height			11.0 m	
	i)	Minimum landscaped open space			50%	
	j)	Minimum parking requirement			2 tandem parking spaces	

Special Provision	Zone	Schedule A	Location	By-law
99	R1		107 Wellandvale Road	
A semi-detached dwelling shall be subject to the following provisions:				
1.	Minimum rear yard		6.2 m	
2.	Maximum porch encroachment into rear yard		3.0 m	
3.	Minimum side yard (with attached garage)		1.2 m	
4.	The parking area permitted in the front yard of the northerly unit shall have a maximum width of 5.2 m			

Special Provision	Zone	Schedule A	Location	By-law
100	R1	9	439 Linwell Road	
Maximum building height – 2 storeys to a maximum of 7.6 m				

Special Provision	Zone	Schedule A	Location	By-law
101	C2	15	464 Welland Avenue	
Minimum landscape buffer along Welland Avenue and Export Avenue shall be 3.0 m				

Special Provision	Zone	Schedule A	Location	By-law
102	E2	16	450 Eastchester Avenue East	
Additional permitted use: Existing recreation facility				

Special Provision	Zone	Schedule A	Location	By-law
103	R3	9	393 Linwell Road	
1.	Maximum area for a home based business - 32% of the dwelling up to a maximum 97 m ²			
2.	Minimum parking – 3 spaces			
3.	Front yard parking coverage – 75%			

Special Provision	Zone	Schedule A	Location	By-law
104	E1	15, 16	150 Dunkirk Road	
Additional permitted use: existing indoor recreation facility				

Special Provision	Zone	Schedule A	Location	By-law
105	E2	3, 4	14 Broadway	
Additional permitted use: greenhouses subject to the following provisions:				
1.	Minimum front yard – 9.1 m			
Note: Holding Provision H7 also applies to the lands.				

Special Provision		Zone	Schedule A	Location	By-law
106		R1	6, 12	358D Martindale Road	
1.	Minimum front yard setback			3.0 m to a dwelling 6.0 m to an attached or detached garage 0.0 m to an attached garage which exterior side wall forms part of the front yard fencing	
2.	Minimum side yard			One side: 1.2 m for a single storey dwelling, 1.8 m for a 2 storey dwelling Other side: 7.0 m	
3.	Lot depth			Regulations for maximum lot depth are established in Areas 1, 3 and 4 of this by-law, but in no case shall lot depths extend below the 84.0 m topographic contour of the site.	
4.	Front yard parking and landscaped open space			“Landscaped open space” shall be located in the front yard, except for a driveway and vehicle turn-around area.	
5.	Landscaped open space			“Landscaped open space” means any space used for grass, flowers, shrubs, trees and similar horticultural elements including walkways, patios decks, and similar outdoor features, but excludes driveways and vehicle turn-around areas.	
6.	Exterior side wall of garage			For the purpose of this by-law, the exterior of the side wall of the garage shall be the side of the garage facing Martindale Road.	
	All buildings, structures and accessory uses, including above ground and in-ground swimming pools, porches, verandahs, gazebos, garden and storage sheds, garages, driveways, parking areas, stairs and sidewalks, are prohibited from the area defined by the minimum rear yard setback				
7.	Minimum lot frontage			29.0 m	
8.	Maximum lot depth			35.0 m	
9.	Minimum lot area			957 m²	
10	Minimum rear yard			16.0 m but in no case shall any building or structure extend below the 90.0 m contour line	

SECTION 14 HOLDING

Where a zone symbol contains the suffix ‘H’ with or without a special provision (for example R4-H1 or R4-1-H1) the zoning shall not take effect until the prescribed conditions are met and the ‘(H)’ is removed from the subject lands.

When the amending by-law removing the ‘H’ Holding symbol from a zone is enacted, the permitted uses and regulations of that zone shall apply.

Until such time as the prescribed conditions are met the identified lands shall only be used for the existing permitted uses as of the date of this By-law including expansion of existing permitted use.

Lands with Holding provisions including the conditions to be satisfied prior to the removal of the Holding (H) zone symbol are identified in Section 14.1 below.

14.1 List of Holding Provisions

Holding		Schedule A	Location	By-law
H1		Various		
Environmental Considerations		An Environmental Site Assessment shall be prepared and submitted to the City of St. Catharines for approval. If contamination above provincial guidelines is found, a Record of Site Condition, or other acceptable documentation, shall be required for submission to the Ministry of the Environment prior to the removal of the Holding (H) designation.		

Holding H2		Schedule A 16	Location 191 Bunting Road	By-law
Environmental Considerations		A Record of site Condition (RSC) shall be submitted. The existing uses and uses permitted in the Employment (E2) Zone shall continue to be permitted until such time as the Holding (H) designation is removed.		
Note: Special Provision 78 also applies to the lands.				

Holding		Schedule A	Location	By-law
H3		18	Westgate Business and Professional Park 1242, 1262, and 1290 Fourth Avenue	
1.	Submission of an urban design plan, by a qualified professional, to the City for review and approval, addressing the entire business park;			
2.	Confirmation of the availability of urban services, being municipal water, sanitary sewers and storm drainage to the satisfaction of the City Engineer;			
3.	Submission of a Traffic and Parking Study of the entire business park prepared by a qualified professional, reviewed and approved by the City and the Ministry of Transportation;			
4.	Submission of a Master Servicing and Implementation Strategy of all necessary infrastructure including a storm water management plan to accommodate the ultimate full			

	development of the entire prestige business park, prepared by a qualified professional, reviewed and approved by the City.
Note: Special Provision 5 also applies to the lands.	

Holding		Schedule A	Location	By-law
H4		7	Port Dalhousie Commercial Core 16, 20, 20A, 22 Lock Street, 1 Hogan's Alley, 12 Lakeport Road, 11 Main Street	
Once the following conditions have been met to the satisfaction of the City Council:				
1.	a site plan agreement is approved by City Council (including public right-of-way easement);			
2.	heritage easements, under the Ontario Heritage Act, are finalized to ensure restoration and preservation of heritage buildings within the site;			
3.	required road allowances, lanes and alleys be closed and conveyed.			
Note: Special Provision 8 also applies to these lands.				

Holding		Schedule A	Location	By-law
H5		7	Port Dalhousie Commercial Core (The Residential Tower)	
An additional Holding (H) designation shall apply to area 5, as identified on Schedules “C-1(a)” and “C-1(b)”, (the 17 storey portion of the building) which shall be lifted by City Council once the following additional condition is met:				
1.	Prior to the residential use of the lands identified as Area 5 on Schedules “C-1(a)” and C-1(b)” all commercial uses, including a minimum of 3,600 m² of retail, office and restaurant space, and a hotel with a minimum of 70 rooms, and a minimum 400 seat theatre and 210 underground parking spaces, and required parking for the theatre use (in accordance with section 1 b) v) (See Special Provision 8), shall be constructed, and such construction shall include, but not be limited to, complete exterior finishing and interior demising walls of all buildings, and in the case of the theatre, the following interior elements: the circulation and access system (including lobby, stairs, elevators and corridors), the theatre stage, the platforms onto which theatre seats will be mounted and the backstage theatre support space.			
Note: Special Provision 8 also applies to the lands.				

Holding		Schedule A	Location	By-law
H6		19	49 Ridley Road	
The proponent shall complete a study having regard for parking and other facilities to support the Major Transit Station and may include limited and related small scale ground floor commercial uses.				

Holding		Schedule A	Location	By-law
H7		3	14 Broadway Avenue	
A storm water plan approved by the City Engineer.				
Note: Special Provision 105 also applies to the lands.				

Holding		Schedule	Location	By-law
H8		15	40 Woodburn Avenue	
1.	A Record of Site Condition or other acceptable documentation, shall be submitted to the Ministry of the Environment;			
2.	The existing 100 year floodplain limit be relocated to the satisfaction of the Niagara Peninsula Conservation Authority (NPCA) in accordance with Ontario Regulation 155/06 and the Land Use Planning Policy of the NPCA.			

Holding		Schedule A	Location	By-law
H9		16	97 Bunting Road	
1.	Road widening dedication of 5.49 m (18 feet) in width across the frontage of the property is deeded gratuitously to the City free and clear of any mortgages, liens and encumbrances			
2.	The Director of Planning and Development Services is satisfied that the plans to be approved for a building permit meet the Urban Design policies of the Garden City Plan and provide for such matters as:			
	a)	Varied roof line in the front elevation;		
	b)	Porches for each of the semi-detached dwellings units;		
	c)	Relief in the front wall by having the garage recessed from the front elevation of the dwelling unit.		

Holding			Schedule A	Location	By-law
H10			14	87 Russell Avenue	
1.	The front yard (except a walkway) has been reinstated from asphalt to sod; \$400 be provided to the City for installation of a boulevard tree on the Russell Avenue Road allowance and the front yard parking space has been relocated to the rear yard to the satisfaction of the Director of Recreation and Community Services				
2.	The Chief Building Official has confirmed that a building permit may be issued once the zoning is in effect.				

Holding			Schedule A	Location	By-law
H11			14	136 James Street	
1.	The Chief Building Official has confirmed that a building permit may be issued once the Holding (H) provision is removed and the Medium/High Density Mixed Use (M2) zoning takes effect;				
2.	Documentation is provided outlining the manner in which the public parking currently located at 136 James Street is to be provided on one or both of these parcels of land and the manner in which the public parking is to be located, controlled, managed and offered to the public to the satisfaction of the Director of Transportation and Environmental Services.				

Holding			Schedule A	Location	By-law
H12			9	397, 401, 403 Carlton Street	
1.	The submission, review and approval by the Director of Planning and Development Services of an urban design brief. The urban design brief shall include detailed building elevation plans and a shadow impact analysis. The urban design brief shall describe proposed techniques to maximize compatibility of the building, to minimize the impacts of overlook onto area homes, to enhance the relationship between the building and the street to mitigate noise impacts from Carlton Street, and to ensure a high level of overall design quality.				
2.	That the existing servicing easement in favour of the Niagara Catholic District School Board identified as Part 5 on Plan 30R-10340 be retained, removed, or relocated to the satisfaction and approval of the Director of Transportation and Environmental Services and Niagara Catholic District School Board. (See Special Provision 4)				
Note: Special Provision 4 also applies to the lands.					

Holding			Schedule A	Location	By-law
H13			7	6 and 10 Dalhousie Avenue	
The Holding (H) designation shall be removed by Council without further public hearing once Gary Road has been constructed to the satisfaction of the Director of Transportation and Environmental Services and when the owner has executed an Agreement with the City granting access to the underground parking over the unopened municipal road allowance to the satisfaction of the City Solicitor.					
Note: Special Provision 74 also applies to the lands					

Holding		Schedule A	Location	By-law
H14		19	294 and 310 Fourth Avenue	
An archaeological assessment is submitted to the satisfaction of the Ministry of Tourism, Culture, and Sport.				
Note: Special Provision 30 also applies to the lands.				

Holding		Schedule A	Location	By-law
H15		21	176 Oakdale Avenue	
The Holding (H) designation for Areas 2 and 3 as identified on Schedule B14 shall be removed by Council, without additional public notice, upon the completion of engineering studies by a qualified engineer, to the satisfaction the Transportation and Environmental Services Department demonstrating the lands are suitable for development.				
Note: Special Provision 44 also applies to the lands				

SECTION 15 SCHEDULES

Schedule A – Principal Zoning Maps

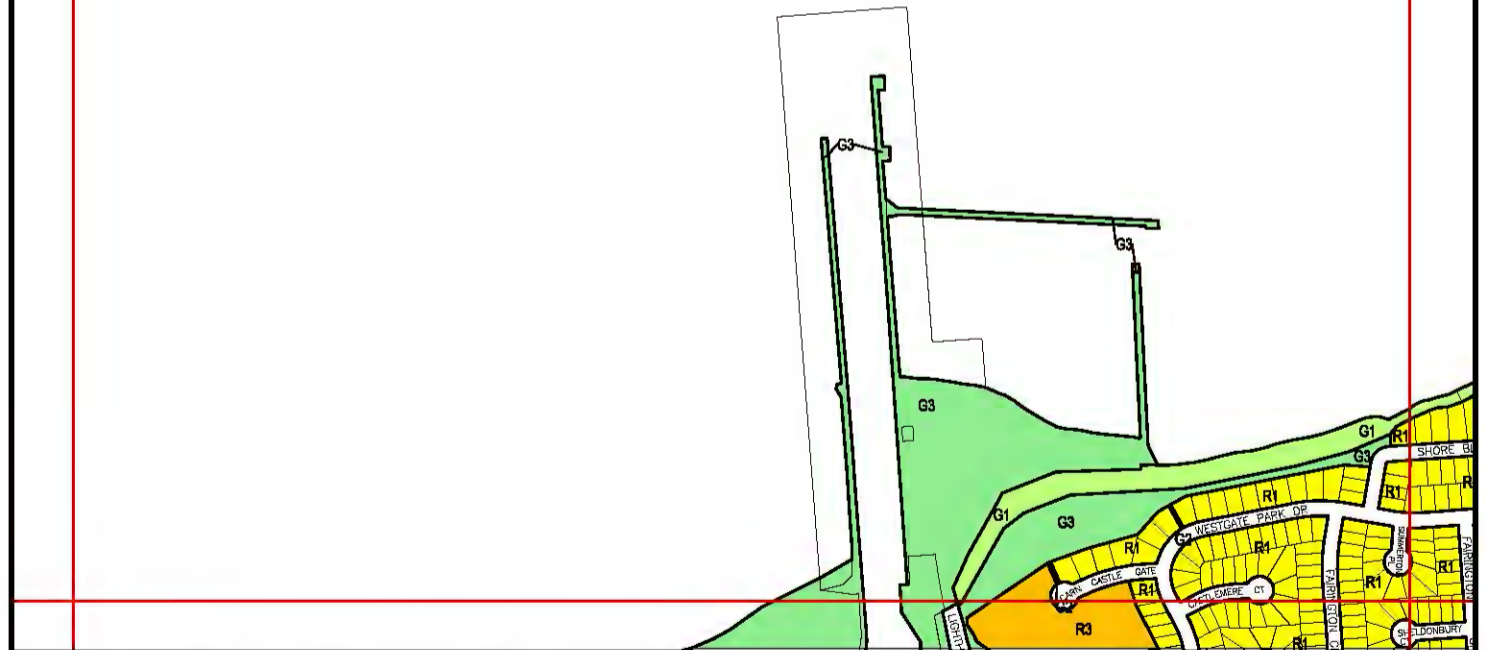
Schedule B – Special Provision Maps

Schedule C – Holding Provision Maps

DRAFT

15.1 Schedule A – Principal Zoning Maps

DRAFT



Zones

- R1** Low Density Residential - Suburban Neighbourhood
- R2** Low Density Residential - Traditional Neighbourhood
- R3** Medium Density Residential
- R4** High Density Residential
- C1** Local Convenience Commercial
- C2** Community Commercial
- C3** Arterial Commercial
- C4** Major Commercial
- C5** Downtown Commercial Core
- C6** Downtown Traditional Main Street
- E1** Business Commercial Employment
- E2** General Employment

- M1** Medium Density Mixed Use
- M2** Medium / High Density Mixed Use
- M3** High Density Mixed Use
- G1** Conservation / Natural Area
- G2** Minor Green Space
- G3** Major Green Space
- I1** Local Neighbourhood Institutional
- I2** Community Institutional
- I3** Major Institutional
- A1** Agriculture
- A2** Agriculture Only
- A3** Agriculture Commercial / Industrial
- MB** Municipal Boundary

City of St.Catharines Zoning By-Law



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SCHEDULE A1

Last Modified: March 18, 2013

LAKE ONTARIO

Zones

- R1** Low Density Residential - Suburban Neighbourhood
- R2** Low Density Residential - Traditional Neighbourhood
- R3** Medium Density Residential
- R4** High Density Residential
- C1** Local Convenience Commercial
- C2** Community Commercial
- C3** Arterial Commercial
- C4** Major Commercial
- C5** Downtown Commercial Core
- C6** Downtown Traditional Main Street
- E1** Business Commercial Employment
- E2** General Employment

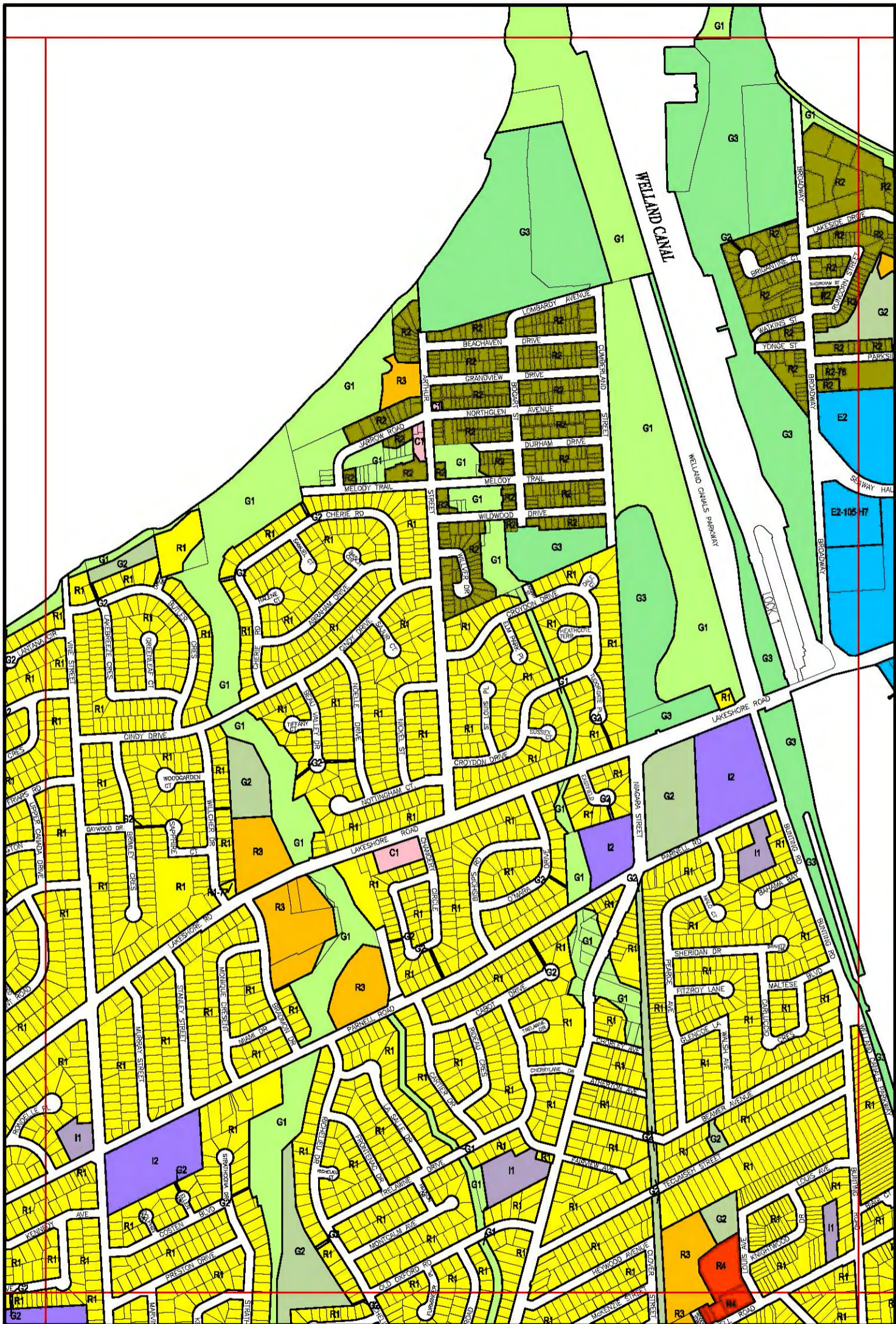
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- M2** Medium / High Density Mixed Use
- M3** High Density Mixed Use
- G1** Conservation / Natural Area
- G2** Minor Green Space
- G3** Major Green Space
- I1** Local Neighbourhood Institutional
- I2** Community Institutional
- I3** Major Institutional
- A1** Agriculture
- A2** Agriculture Only
- A3** Agriculture Commercial / Industrial
- Municipal Boundary

City of St.Catharines Zoning By-Law



SCHEDULE A2

Last Modified: March 18, 2013



Zones

- R1** Low Density Residential - Suburban Neighbourhood
- R2** Low Density Residential - Traditional Neighbourhood
- R3** Medium Density Residential
- R4** High Density Residential
- C1** Local Convenience Commercial
- C2** Community Commercial
- C3** Arterial Commercial
- C4** Major Commercial
- C5** Downtown Commercial Core
- C6** Downtown Traditional Main Street
- E1** Business Commercial Employment
- E2** General Employment

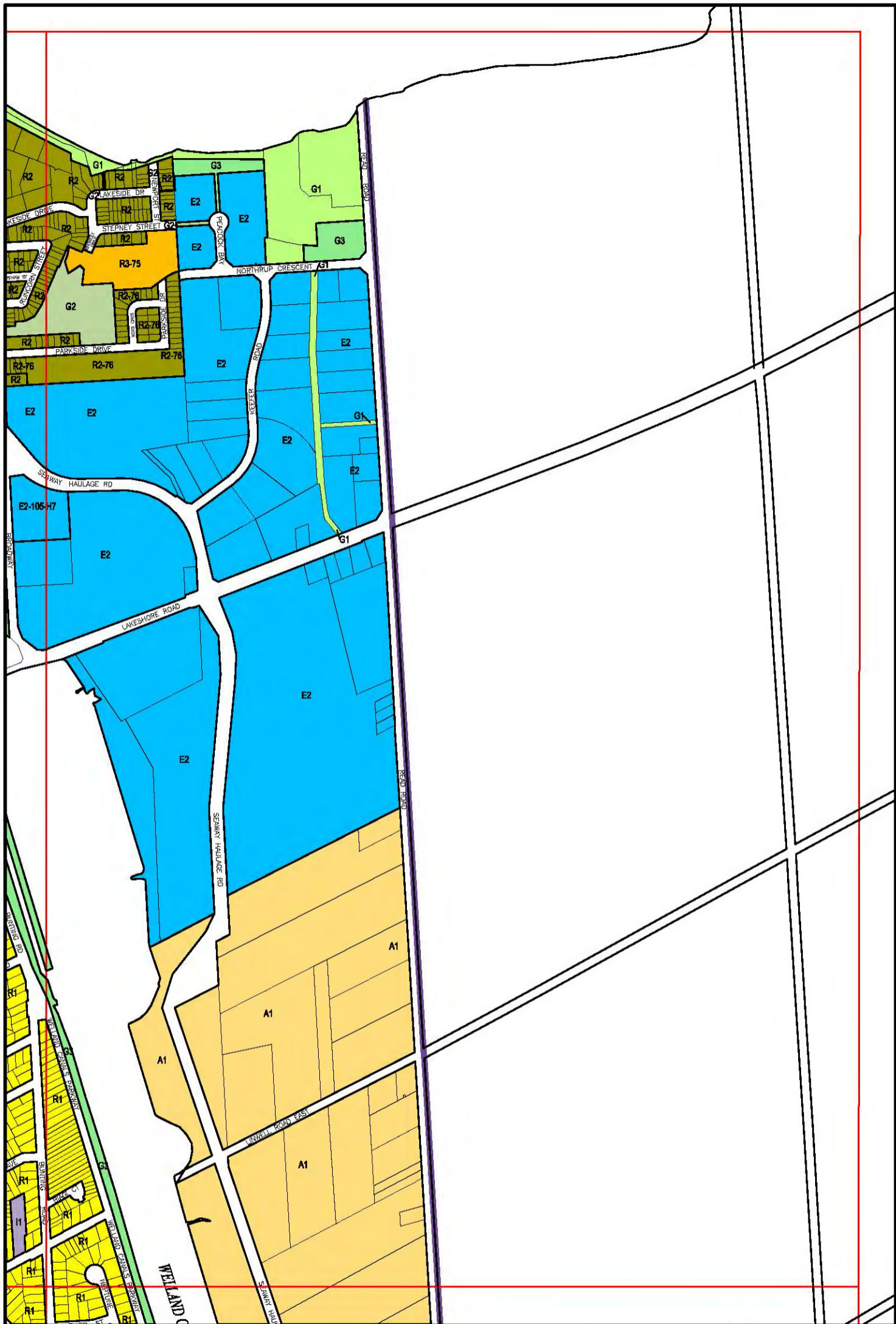
- M1** Medium Density Mixed Use
- M2** Medium / High Density Mixed Use
- M3** High Density Mixed Use
- G1** Conservation / Natural Area
- G2** Minor Green Space
- G3** Major Green Space
- I1** Local Neighbourhood Institutional
- I2** Community Institutional
- I3** Major Institutional
- A1** Agriculture
- A2** Agriculture Only
- A3** Agriculture Commercial / Industrial
- MB** Municipal Boundary

City of St. Catharines Zoning By-Law



SCHEDULE A3

Last Modified: March 18, 2013



Zones

- R1** Low Density Residential - Suburban Neighbourhood
- R2** Low Density Residential - Traditional Neighbourhood
- R3** Medium Density Residential
- R4** High Density Residential
- C1** Local Convenience Commercial
- C2** Community Commercial
- C3** Arterial Commercial
- C4** Major Commercial
- C5** Downtown Commercial Core
- C6** Downtown Traditional Main Street
- E1** Business Commercial Employment
- E2** General Employment

- M1** Medium Density Mixed Use
- M2** Medium / High Density Mixed Use
- M3** High Density Mixed Use
- G1** Conservation / Natural Area
- G2** Minor Green Space
- G3** Major Green Space
- I1** Local Neighbourhood Institutional
- I2** Community Institutional
- I3** Major Institutional
- A1** Agriculture
- A2** Agriculture Only
- A3** Agriculture Commercial / Industrial
- MB** Municipal Boundary

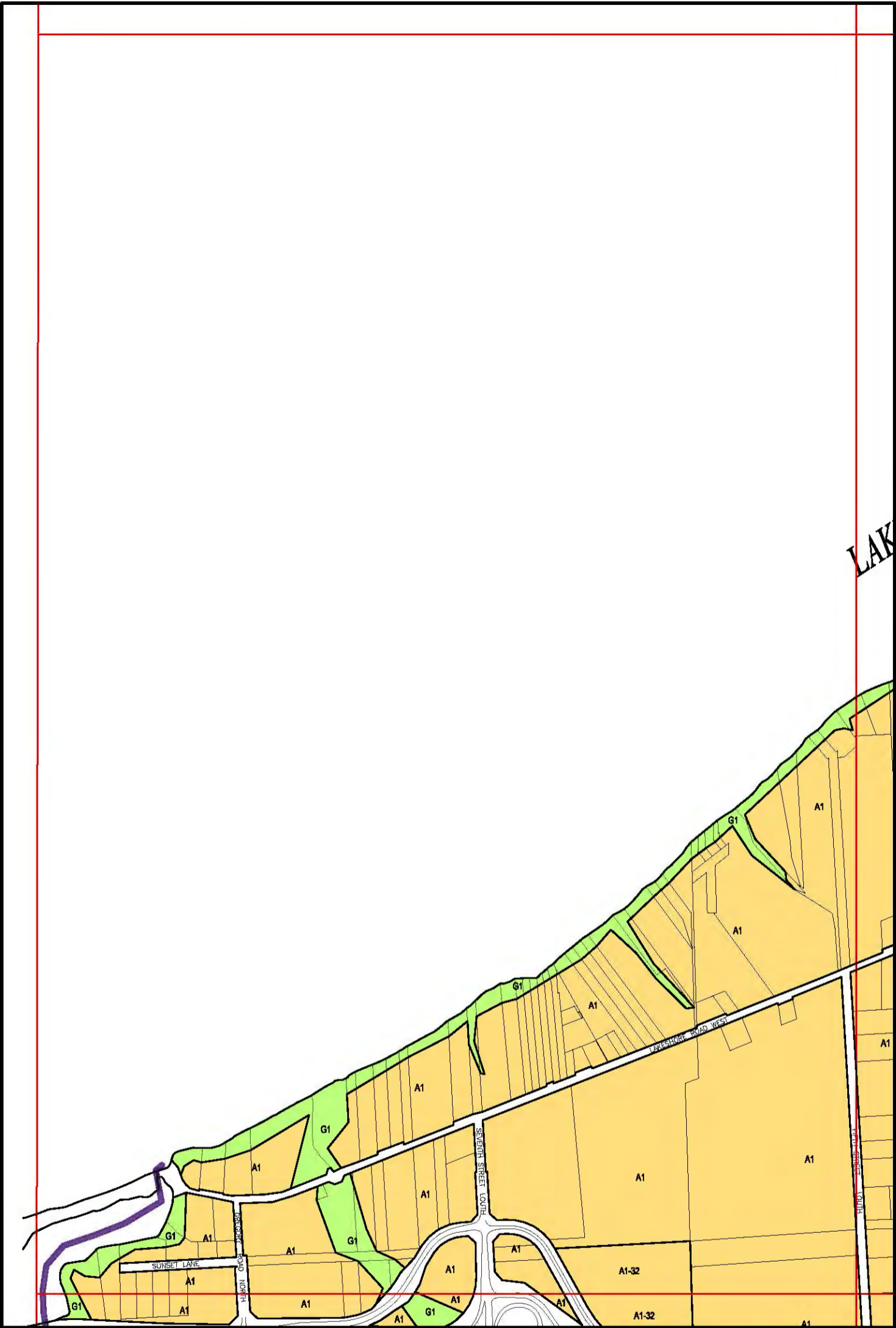
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SCHEDULE A4

Last Modified: March 18, 2013



Zones	
R1 Low Density Residential - Suburban Neighbourhood	M1 Medium Density Mixed Use
R2 Low Density Residential - Traditional Neighbourhood	M2 Medium / High Density Mixed Use
R3 Medium Density Residential	M3 High Density Mixed Use
R4 High Density Residential	G1 Conservation / Natural Area
C1 Local Convenience Commercial	G2 Minor Green Space
C2 Community Commercial	G3 Major Green Space
C3 Arterial Commercial	I1 Local Neighbourhood Institutional
C4 Major Commercial	I2 Community Institutional
C5 Downtown Commercial Core	I3 Major Institutional
C6 Downtown Traditional Main Street	A1 Agriculture
E1 Business Commercial Employment	A2 Agriculture Only
E2 General Employment	A3 Agriculture Commercial / Industrial
	MB Municipal Boundary

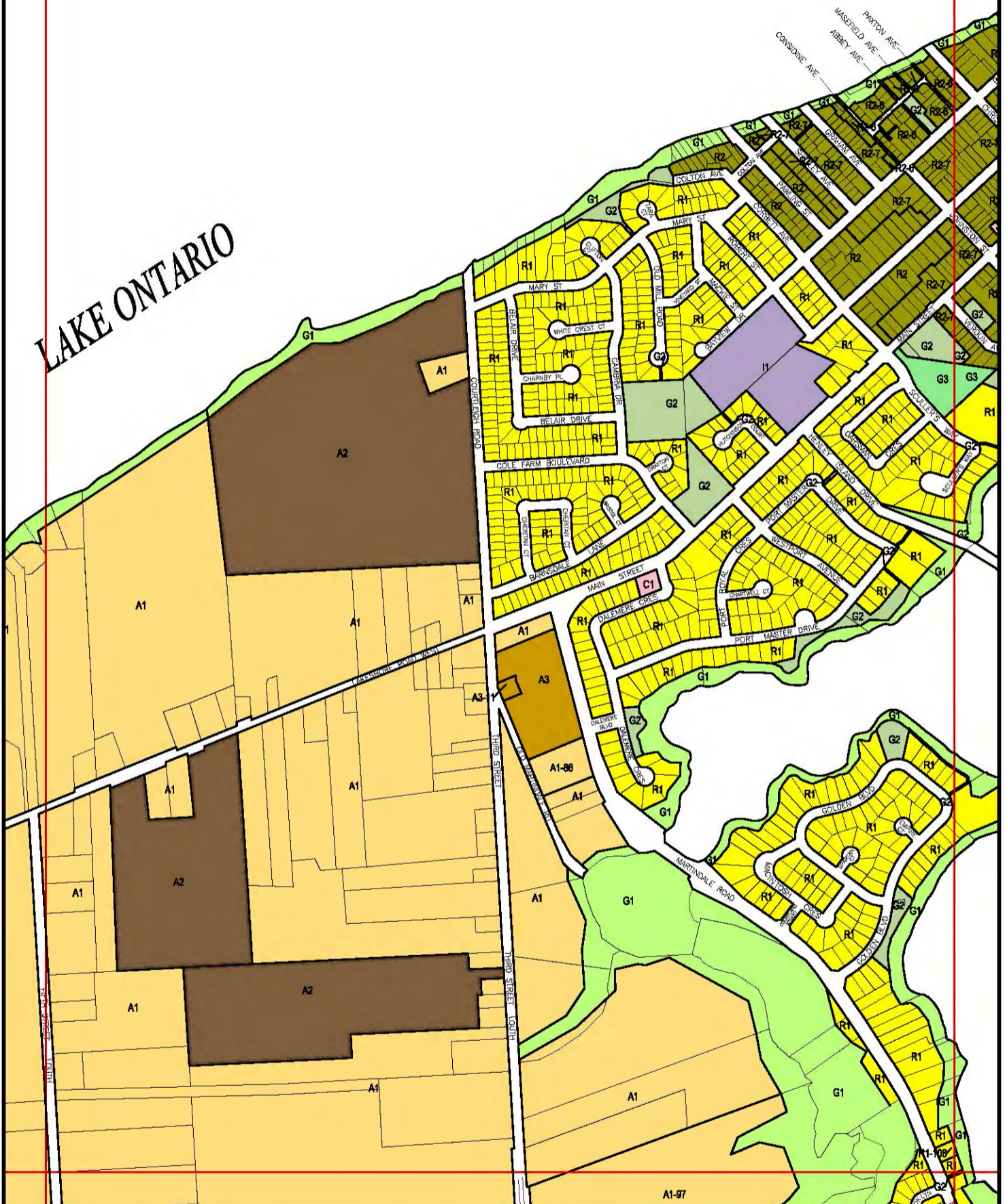
**City of St. Catharines
Zoning By-Law**


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SCHEDULE A5

Last Modified: March 18, 2013

LAKE ONTARIO



Zones

- R1** Low Density Residential - Suburban Neighbourhood
- R2** Low Density Residential - Traditional Neighbourhood
- R3** Medium Density Residential
- R4** High Density Residential
- C1** Local Convenience Commercial
- C2** Community Commercial
- C3** Arterial Commercial
- C4** Major Commercial
- C5** Downtown Commercial Core
- C6** Downtown Traditional Main Street
- E1** Business Commercial Employment
- E2** General Employment

- M1** Medium Density Mixed Use
- M2** Medium / High Density Mixed Use
- M3** High Density Mixed Use
- G1** Conservation / Natural Area
- G2** Minor Green Space
- G3** Major Green Space
- I1** Local Neighbourhood Institutional
- I2** Community Institutional
- I3** Major Institutional
- A1** Agriculture
- A2** Agriculture Only
- A3** Agriculture Commercial / Industrial
- Municipal Boundary

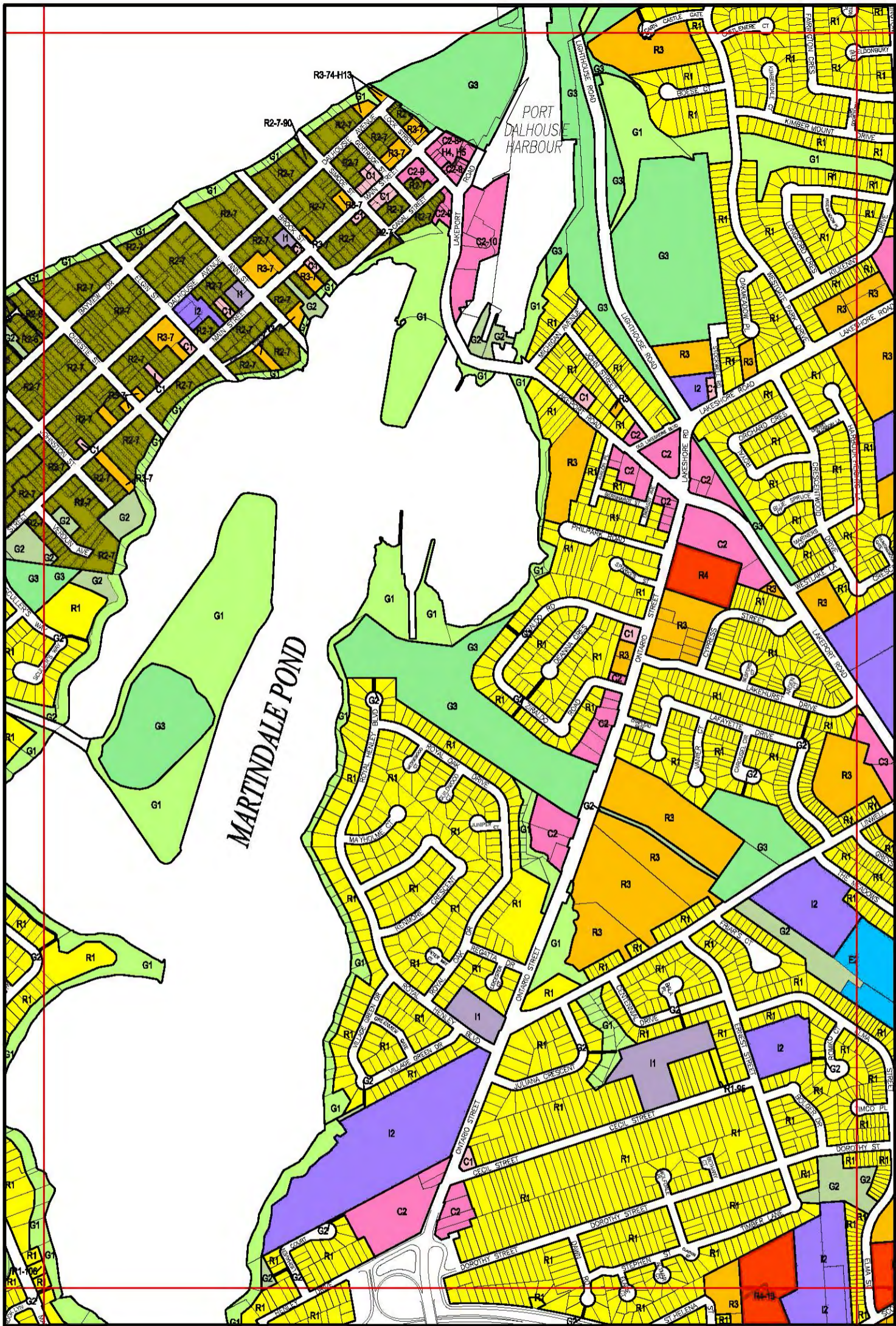
City of St. Catharines Zoning By-Law



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SCHEDULE A6

Last Modified: March 18, 2013



Zones

- R1** Low Density Residential - Suburban Neighbourhood
- R2** Low Density Residential - Traditional Neighbourhood
- R3** Medium Density Residential
- R4** High Density Residential
- C1** Local Convenience Commercial
- C2** Community Commercial
- C3** Arterial Commercial
- C4** Major Commercial
- C5** Downtown Commercial Core
- C6** Downtown Traditional Main Street
- E1** Business Commercial Employment
- E2** General Employment

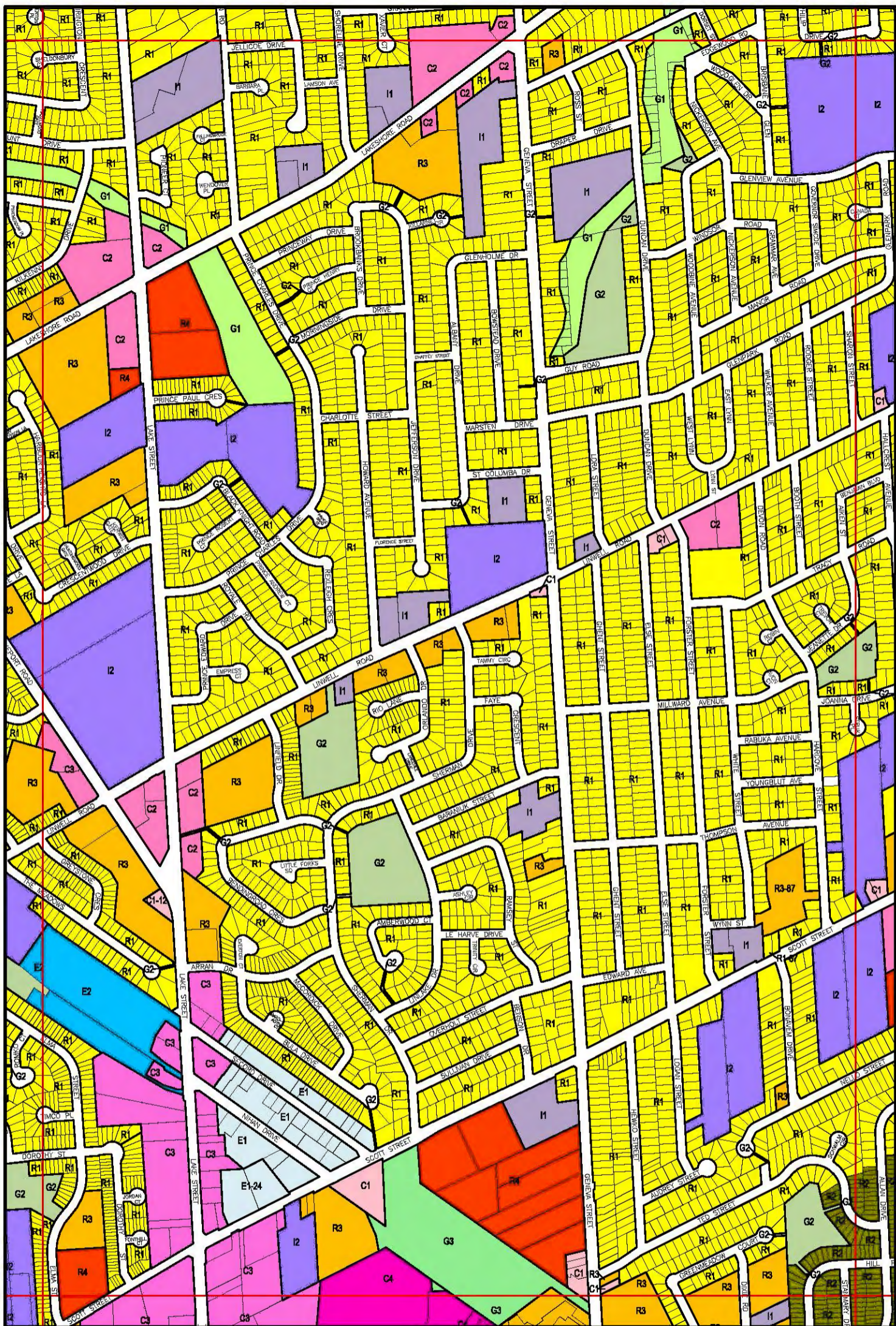
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- M2** Medium / High Density Mixed Use
- M3** High Density Mixed Use
- G1** Conservation / Natural Area
- G2** Minor Green Space
- G3** Major Green Space
- I1** Local Neighbourhood Institutional
- I2** Community Institutional
- I3** Major Institutional
- A1** Agriculture
- A2** Agriculture Only
- A3** Agriculture Commercial / Industrial
- MB** Municipal Boundary

City of St. Catharines Zoning By-Law



SCHEDULE A7

Last Modified: March 18, 2013



Zones

- R1** Low Density Residential - Suburban Neighbourhood
- R2** Low Density Residential - Traditional Neighbourhood
- R3** Medium Density Residential
- R4** High Density Residential
- C1** Local Convenience Commercial
- C2** Community Commercial
- C3** Arterial Commercial
- C4** Major Commercial
- C5** Downtown Commercial Core
- C6** Downtown Traditional Main Street
- E1** Business Commercial Employment
- E2** General Employment

- M1** Medium Density Mixed Use
- M2** Medium / High Density Mixed Use
- M3** High Density Mixed Use
- G1** Conservation / Natural Area
- G2** Minor Green Space
- G3** Major Green Space
- I1** Local Neighbourhood Institutional
- I2** Community Institutional
- I3** Major Institutional
- A1** Agriculture
- A2** Agriculture Only
- A3** Agriculture Commercial / Industrial
- MB** Municipal Boundary

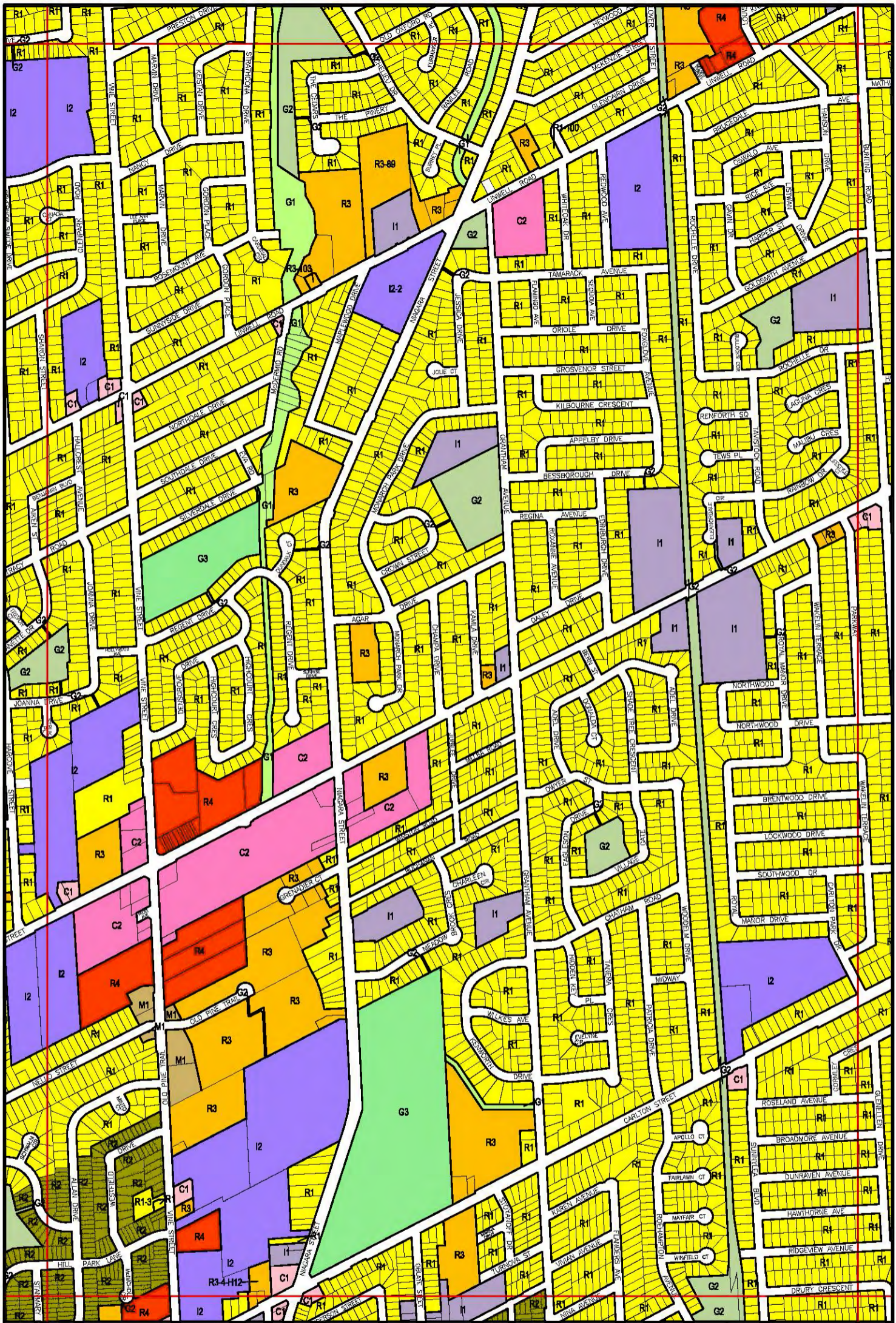
City of St. Catharines Zoning By-Law



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SCHEDULE A8

Last Modified: March 18, 2013



Zones

- R1** Low Density Residential - Suburban Neighbourhood
- R2** Low Density Residential - Traditional Neighbourhood
- R3** Medium Density Residential
- R4** High Density Residential
- C1** Local Convenience Commercial
- C2** Community Commercial
- C3** Arterial Commercial
- C4** Major Commercial
- C5** Downtown Commercial Core
- C6** Downtown Traditional Main Street
- E1** Business Commercial Employment
- E2** General Employment

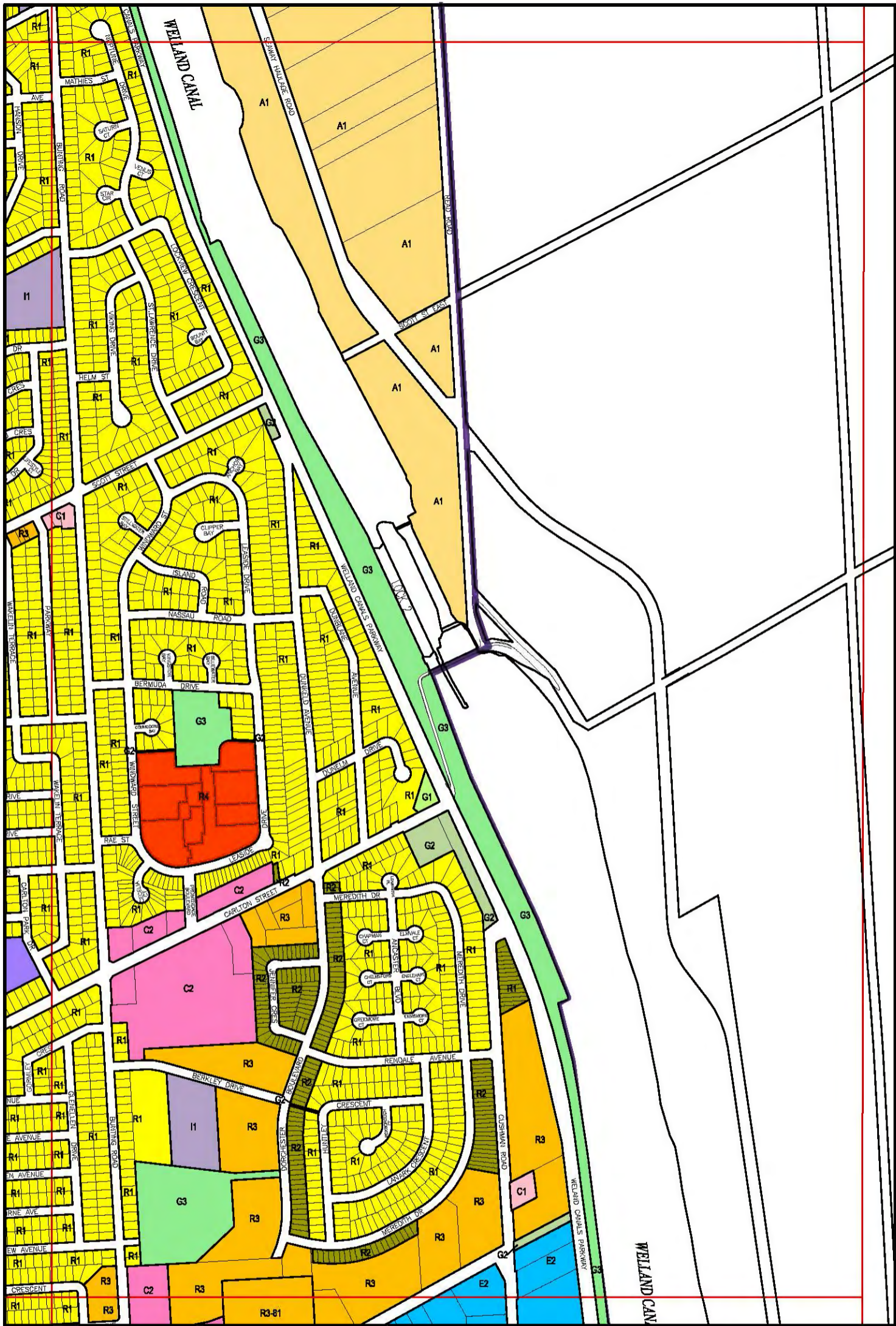
- M1** Medium Density Mixed Use
- M2** Medium / High Density Mixed Use
- M3** High Density Mixed Use
- G1** Conservation / Natural Area
- G2** Minor Green Space
- G3** Major Green Space
- I1** Local Neighbourhood Institutional
- I2** Community Institutional
- I3** Major Institutional
- A1** Agriculture
- A2** Agriculture Only
- A3** Agriculture Commercial / Industrial
- MB** Municipal Boundary

City of St. Catharines Zoning By-Law




SCHEDULE A9

Last Modified: March 18, 2013



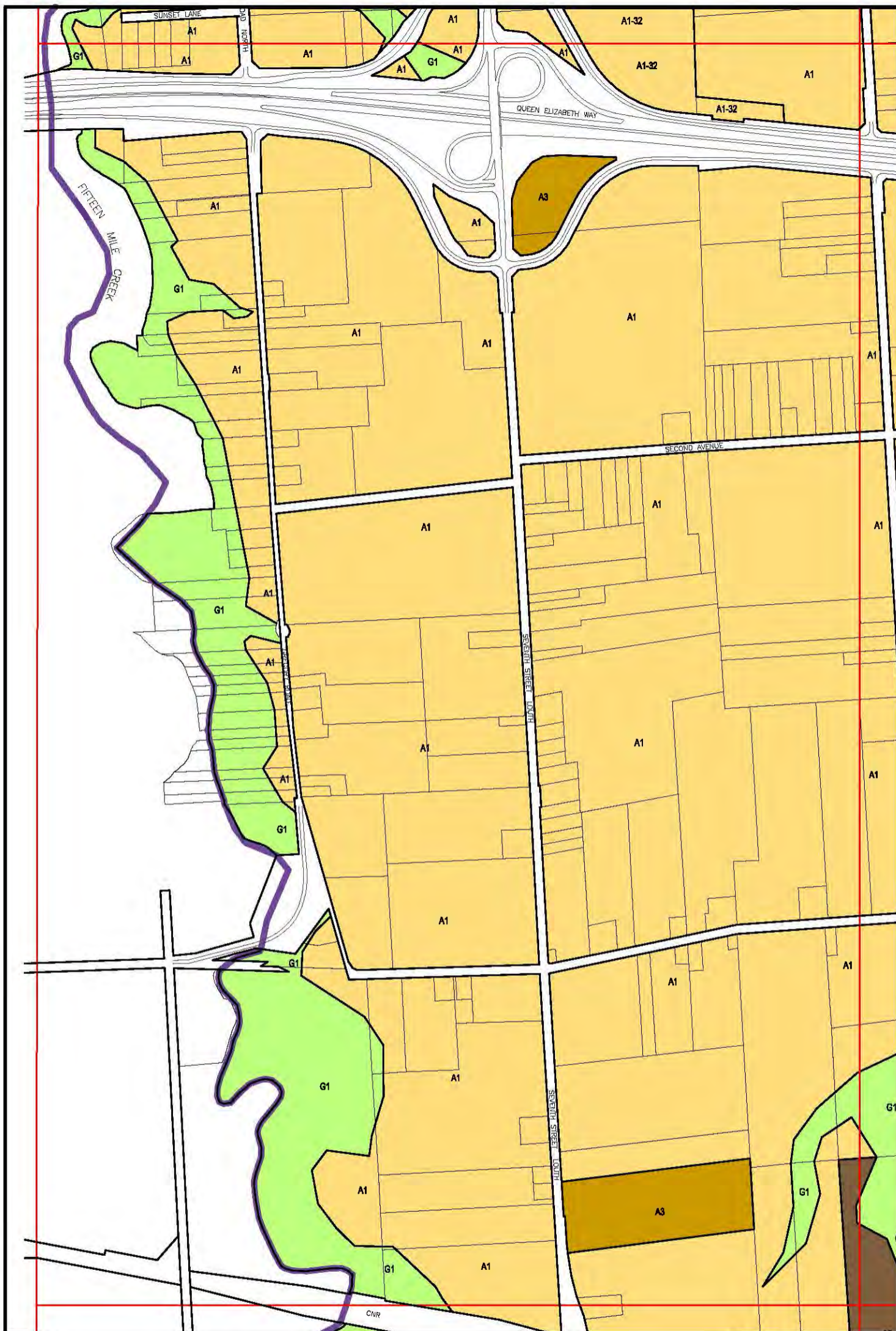
Zones	
R1	Low Density Residential - Suburban Neighbourhood
R2	Low Density Residential - Traditional Neighbourhood
R3	Medium Density Residential
R4	High Density Residential
C1	Local Convenience Commercial
C2	Community Commercial
C3	Arterial Commercial
C4	Major Commercial
C5	Downtown Commercial Core
C6	Downtown Traditional Main Street
E1	Business Commercial Employment
E2	General Employment
M1	Medium Density Mixed Use
M2	Medium / High Density Mixed Use
M3	High Density Mixed Use
G1	Conservation / Natural Area
G2	Minor Green Space
G3	Major Green Space
I1	Local Neighbourhood Institutional
I2	Community Institutional
I3	Major Institutional
A1	Agriculture
A2	Agriculture Only
A3	Agriculture Commercial / Industrial
—	Municipal Boundary

City of St. Catharines
Zoning By-Law


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SCHEDULE A10

Last Modified: March 18, 2013



Zones

- R1** Low Density Residential - Suburban Neighbourhood
- R2** Low Density Residential - Traditional Neighbourhood
- R3** Medium Density Residential
- R4** High Density Residential
- C1** Local Convenience Commercial
- C2** Community Commercial
- C3** Arterial Commercial
- C4** Major Commercial
- C5** Downtown Commercial Core
- C6** Downtown Traditional Main Street
- E1** Business Commercial Employment
- E2** General Employment

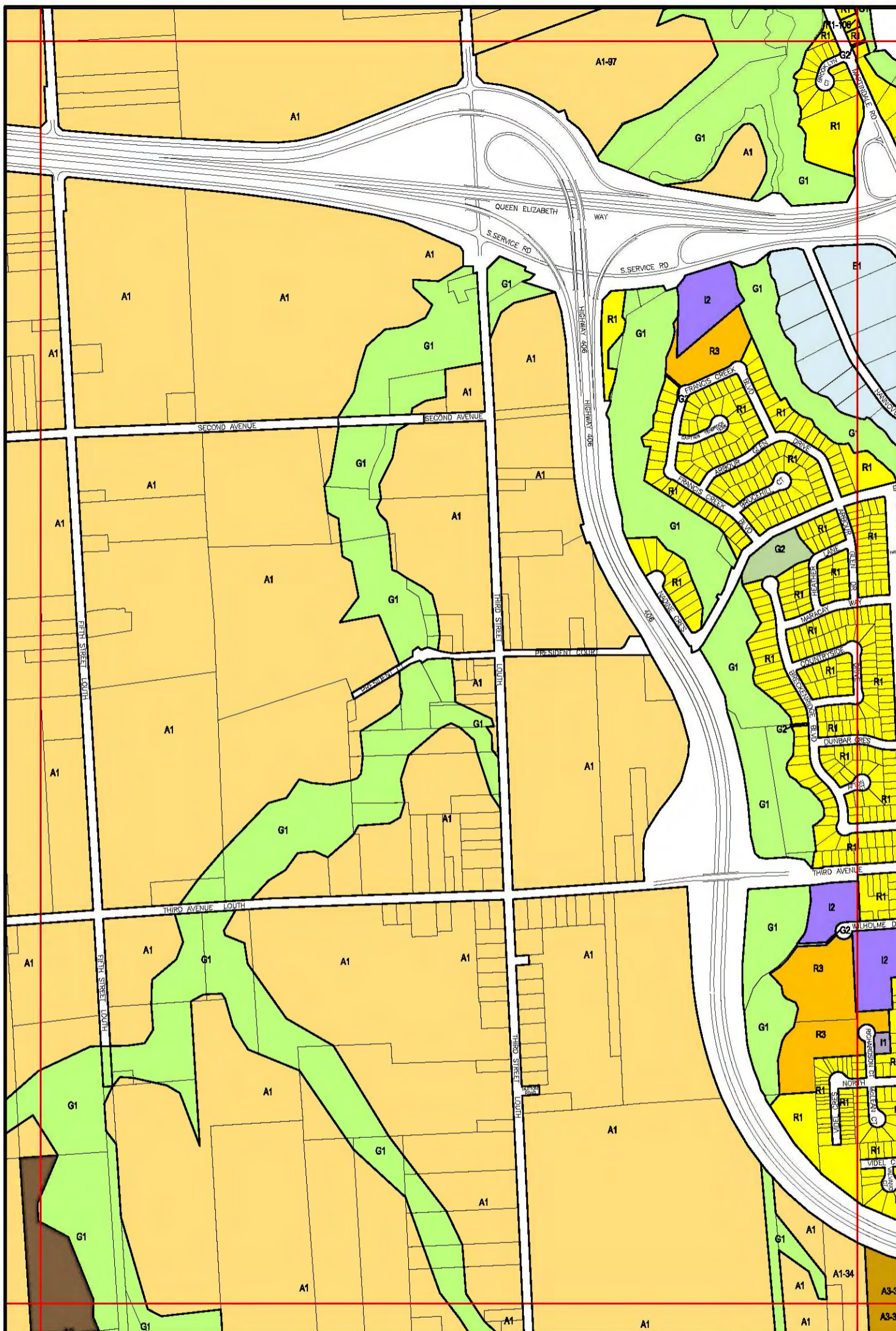
- M1** Medium Density Mixed Use
- M2** Medium / High Density Mixed Use
- M3** High Density Mixed Use
- G1** Conservation / Natural Area
- G2** Minor Green Space
- G3** Major Green Space
- I1** Local Neighbourhood Institutional
- I2** Community Institutional
- I3** Major Institutional
- A1** Agriculture
- A2** Agriculture Only
- A3** Agriculture Commercial / Industrial
- MB** Municipal Boundary

City of St. Catharines Zoning By-Law



SCHEDULE A11

Last Modified: March 18, 2013



Zones

- R1 Low Density Residential - Suburban Neighbourhood
- R2 Low Density Residential - Traditional Neighbourhood
- R3 Medium Density Residential
- R4 High Density Residential
- C1 Local Convenience Commercial
- C2 Community Commercial
- C3 Arterial Commercial
- C4 Major Commercial
- C5 Downtown Commercial Core
- C6 Downtown Traditional Main Street
- E1 Business Commercial Employment
- E2 General Employment

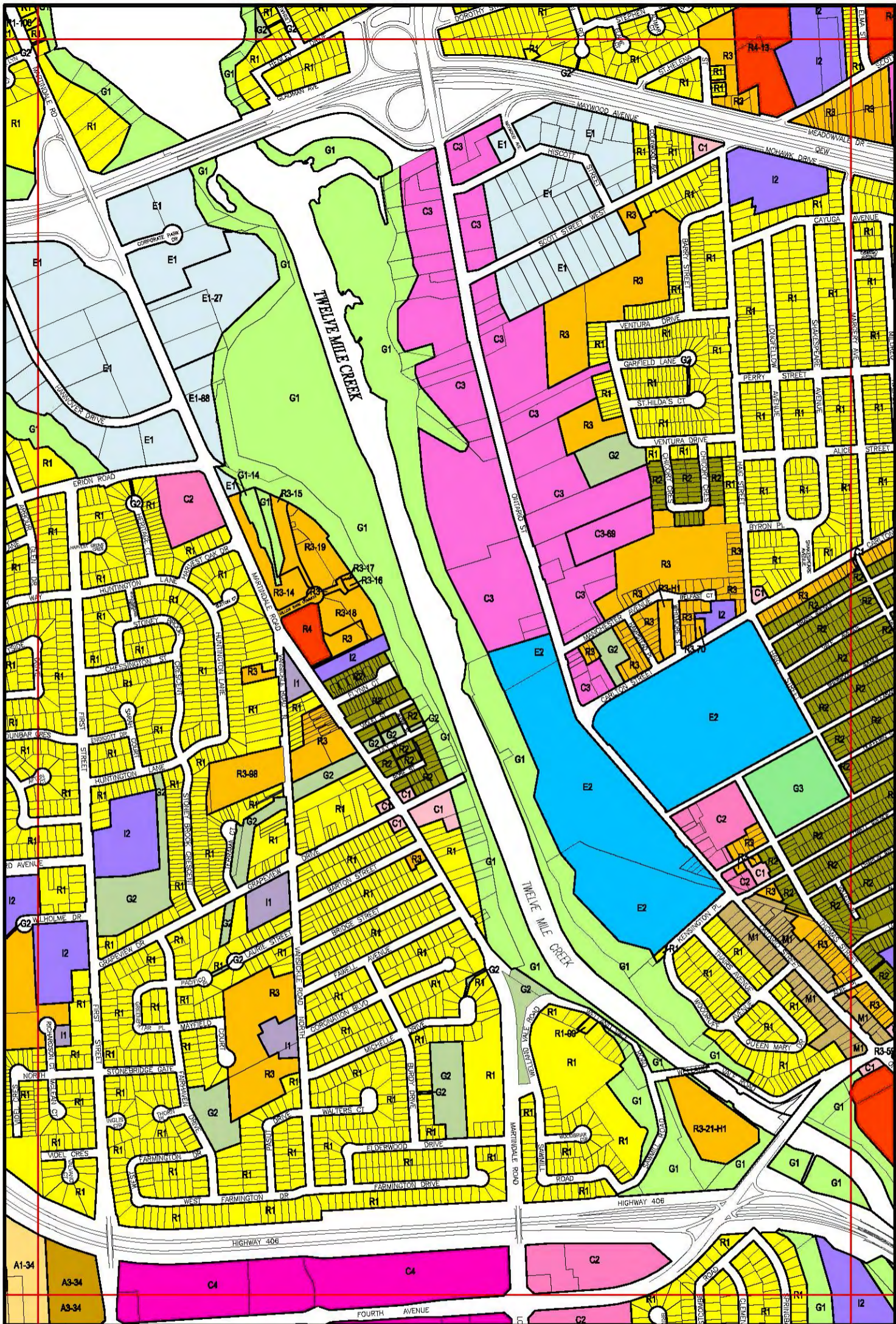
- M1 Medium Density Mixed Use
- M2 Medium / High Density Mixed Use
- M3 High Density Mixed Use
- G1 Conservation / Natural Area
- G2 Minor Green Space
- G3 Major Green Space
- I1 Local Neighbourhood Institutional
- I2 Community Institutional
- I3 Major Institutional
- A1 Agriculture
- A2 Agriculture Only
- A3 Agriculture Commercial / Industrial
- Municipal Boundary

City of St. Catharines Zoning By-Law



SCHEDULE A12

Last Modified: March 18, 2013



Zones

- R1** Low Density Residential - Suburban Neighbourhood
- R2** Low Density Residential - Traditional Neighbourhood
- R3** Medium Density Residential
- R4** High Density Residential
- C1** Local Convenience Commercial
- C2** Community Commercial
- C3** Arterial Commercial
- C4** Major Commercial
- C5** Downtown Commercial Core
- C6** Downtown Traditional Main Street
- E1** Business Commercial Employment
- E2** General Employment

- M1** Medium Density Mixed Use
- M2** Medium / High Density Mixed Use
- M3** High Density Mixed Use
- G1** Conservation / Natural Area
- G2** Minor Green Space
- G3** Major Green Space
- I1** Local Neighbourhood Institutional
- I2** Community Institutional
- I3** Major Institutional
- A1** Agriculture
- A2** Agriculture Only
- A3** Agriculture Commercial / Industrial
- Municipal Boundary

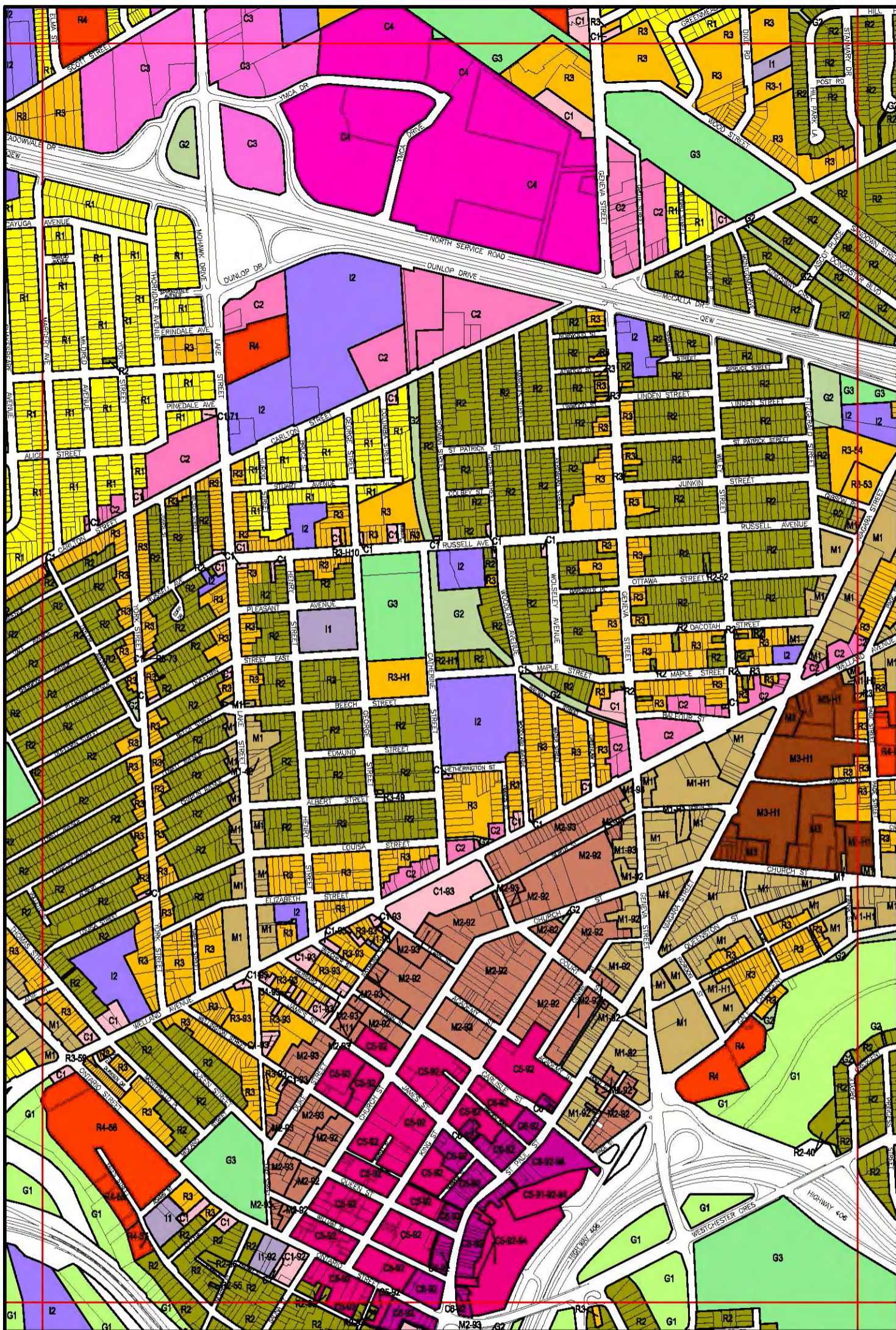
City of St. Catharines Zoning By-Law



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SCHEDULE A13

Last Modified: March 18, 2013



Zones

- R1** Low Density Residential - Suburban Neighbourhood
- R2** Low Density Residential - Traditional Neighbourhood
- R3** Medium Density Residential
- R4** High Density Residential
- C1** Local Convenience Commercial
- C2** Community Commercial
- C3** Arterial Commercial
- C4** Major Commercial
- C5** Downtown Commercial Core
- C6** Downtown Traditional Main Street
- E1** Business Commercial Employment
- E2** General Employment

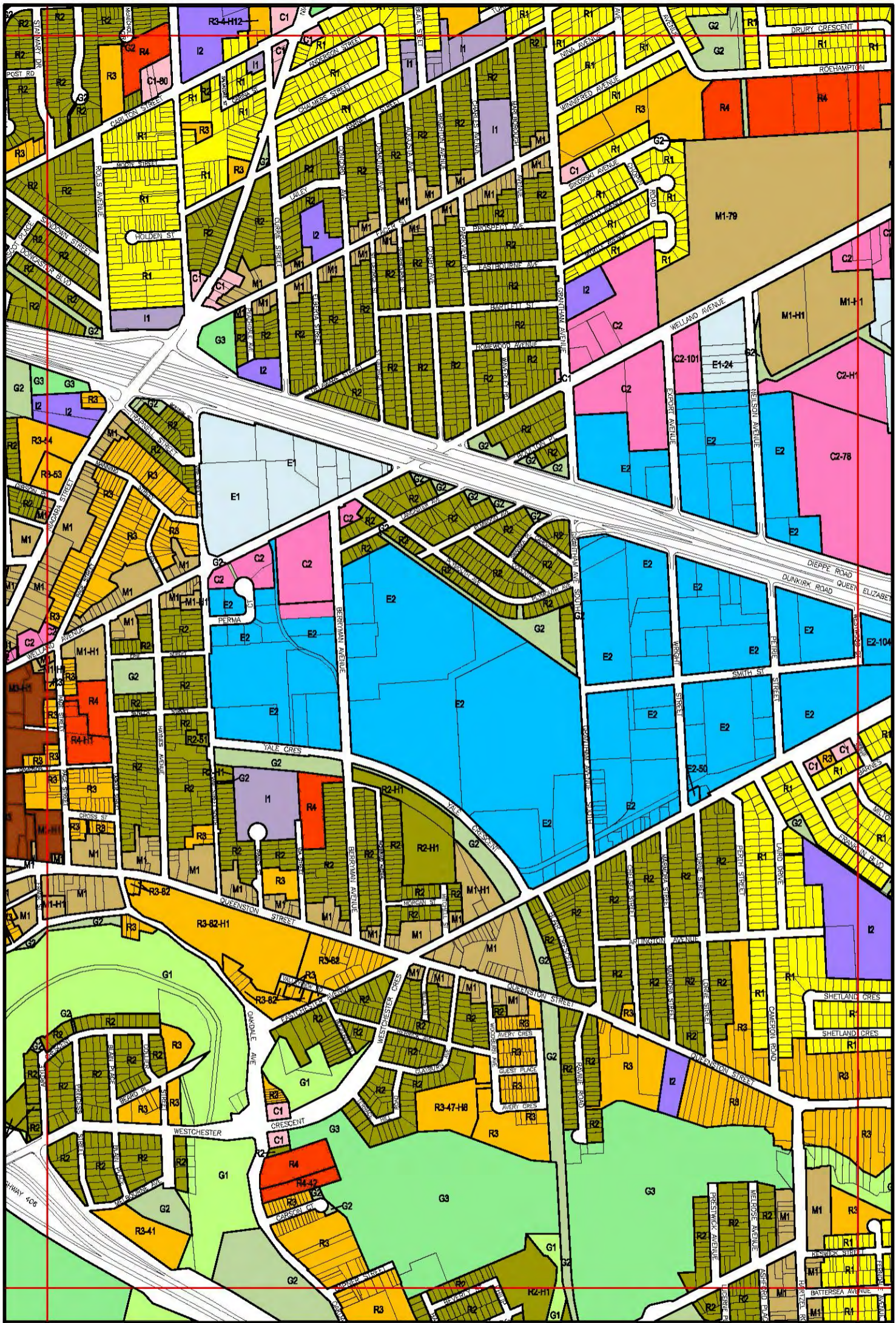
- M1** Medium Density Mixed Use
- M2** Medium / High Density Mixed Use
- M3** High Density Mixed Use
- G1** Conservation / Natural Area
- G2** Minor Green Space
- G3** Major Green Space
- I1** Local Neighbourhood Institutional
- I2** Community Institutional
- I3** Major Institutional
- A1** Agriculture
- A2** Agriculture Only
- A3** Agriculture Commercial / Industrial
- Municipal Boundary

City of St. Catharines Zoning By-Law

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SCHEDULE A14

Last Modified: March 18, 2013



Zones

- R1** Low Density Residential - Suburban Neighbourhood
- R2** Low Density Residential - Traditional Neighbourhood
- R3** Medium Density Residential
- R4** High Density Residential
- C1** Local Convenience Commercial
- C2** Community Commercial
- C3** Arterial Commercial
- C4** Major Commercial
- C5** Downtown Commercial Core
- C6** Downtown Traditional Main Street
- E1** Business Commercial Employment
- E2** General Employment

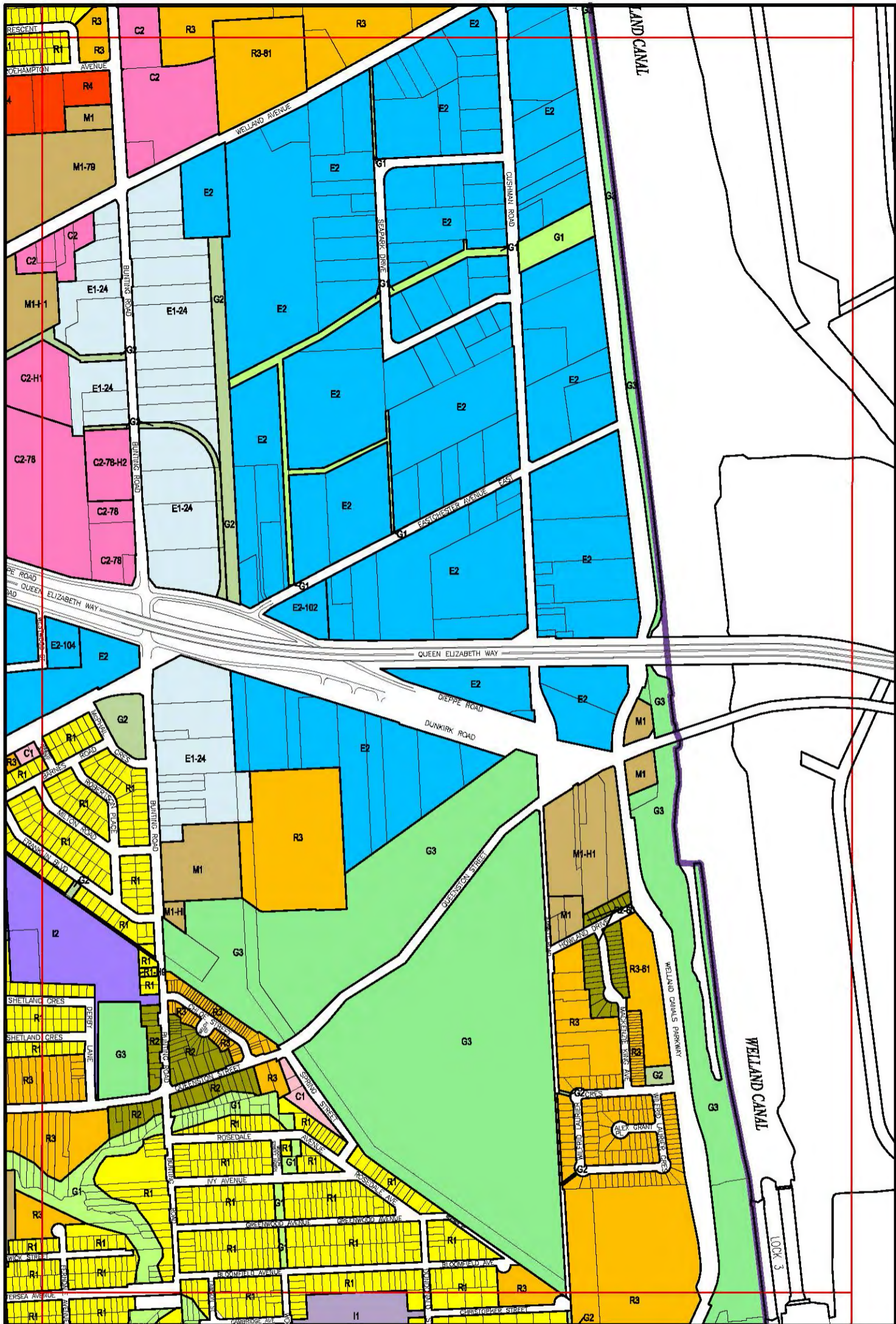
- M1** Medium Density Mixed Use
- M2** Medium / High Density Mixed Use
- M3** High Density Mixed Use
- G1** Conservation / Natural Area
- G2** Minor Green Space
- G3** Major Green Space
- I1** Local Neighbourhood Institutional
- I2** Community Institutional
- I3** Major Institutional
- A1** Agriculture
- A2** Agriculture Only
- A3** Agriculture Commercial / Industrial
- Municipal Boundary**

**City of
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SCHEDULE A15

Last Modified: March 18, 2013



Zones

- R1** Low Density Residential - Suburban Neighbourhood
- R2** Low Density Residential - Traditional Neighbourhood
- R3** Medium Density Residential
- R4** High Density Residential
- C1** Local Convenience Commercial
- C2** Community Commercial
- C3** Arterial Commercial
- C4** Major Commercial
- C5** Downtown Commercial Core
- C6** Downtown Traditional Main Street
- E1** Business Commercial Employment
- E2** General Employment

- M1** Medium Density Mixed Use
- M2** Medium / High Density Mixed Use
- M3** High Density Mixed Use
- G1** Conservation / Natural Area
- G2** Minor Green Space
- G3** Major Green Space
- I1** Local Neighbourhood Institutional
- I2** Community Institutional
- I3** Major Institutional
- A1** Agriculture
- A2** Agriculture Only
- A3** Agriculture Commercial / Industrial
- MB** Municipal Boundary

City of St. Catharines Zoning By-Law



SCHEDULE A16

Last Modified: March 18, 2013



Zones

- R1 Low Density Residential - Suburban Neighbourhood
- R2 Low Density Residential - Traditional Neighbourhood
- R3 Medium Density Residential
- R4 High Density Residential
- C1 Local Convenience Commercial
- C2 Community Commercial
- C3 Arterial Commercial
- C4 Major Commercial
- C5 Downtown Commercial Core
- C6 Downtown Traditional Main Street
- E1 Business Commercial Employment
- E2 General Employment

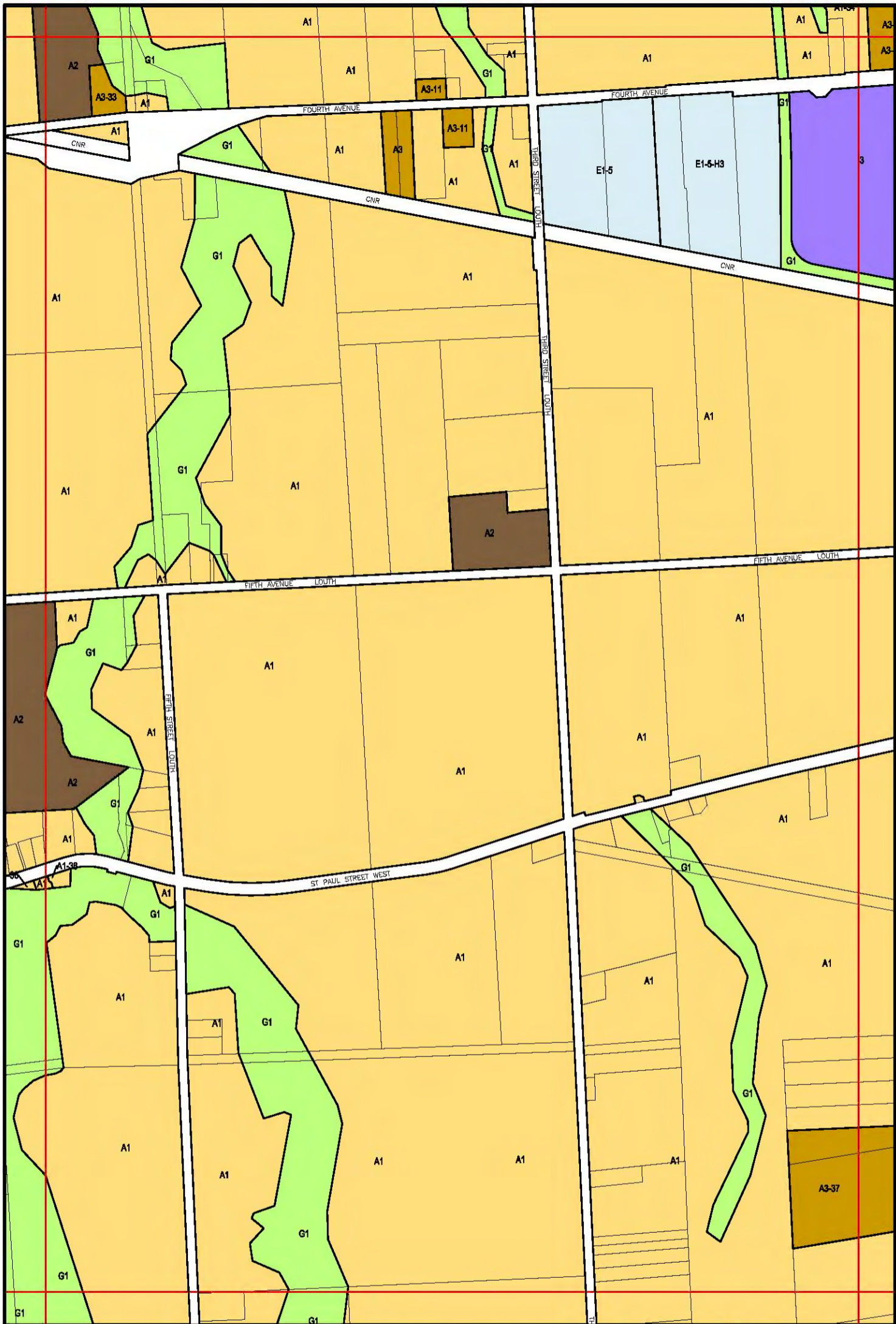
- M1 Medium Density Mixed Use
- M2 Medium / High Density Mixed Use
- M3 High Density Mixed Use
- G1 Conservation / Natural Area
- G2 Minor Green Space
- G3 Major Green Space
- I1 Local Neighbourhood Institutional
- I2 Community Institutional
- I3 Major Institutional
- A1 Agriculture
- A2 Agriculture Only
- A3 Agriculture Commercial / Industrial
- Municipal Boundary

City of St. Catharines Zoning By-Law



SCHEDULE A17

Last Modified: March 18, 2013



Zones

- R1** Low Density Residential - Suburban Neighbourhood
- R2** Low Density Residential - Traditional Neighbourhood
- R3** Medium Density Residential
- R4** High Density Residential
- C1** Local Convenience Commercial
- C2** Community Commercial
- C3** Arterial Commercial
- C4** Major Commercial
- C5** Downtown Commercial Core
- C6** Downtown Traditional Main Street
- E1** Business Commercial Employment
- E2** General Employment

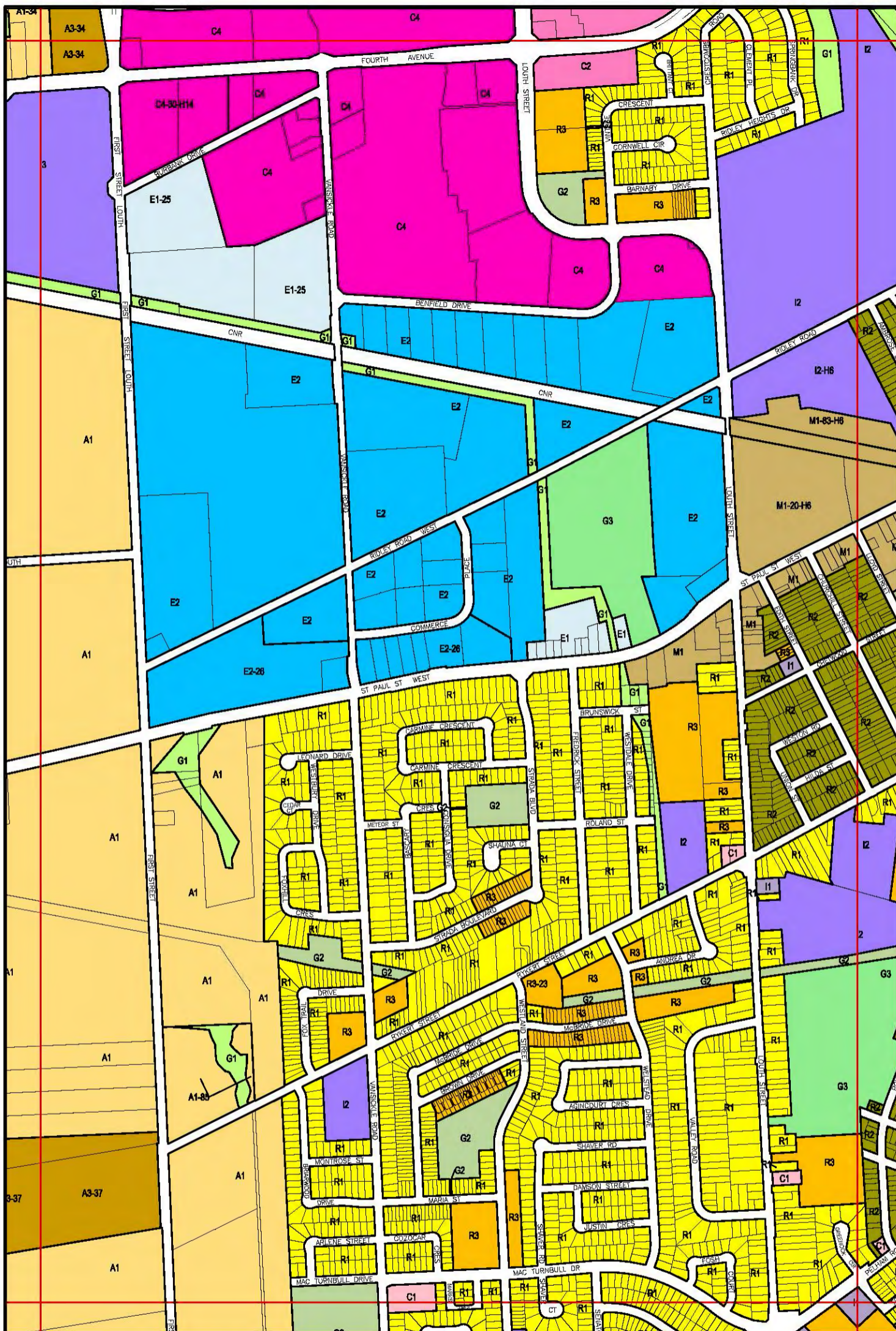
- M1** Medium Density Mixed Use
- M2** Medium / High Density Mixed Use
- M3** High Density Mixed Use
- G1** Conservation / Natural Area
- G2** Minor Green Space
- G3** Major Green Space
- I1** Local Neighbourhood Institutional
- I2** Community Institutional
- I3** Major Institutional
- A1** Agriculture
- A2** Agriculture Only
- A3** Agriculture Commercial / Industrial
- 3** Municipal Boundary

City of St. Catharines Zoning By-Law



SCHEDULE A18

Last Modified: March 18, 2013



Zones

- R1** Low Density Residential - Suburban Neighbourhood
- R2** Low Density Residential - Traditional Neighbourhood
- R3** Medium Density Residential
- R4** High Density Residential
- C1** Local Convenience Commercial
- C2** Community Commercial
- C3** Arterial Commercial
- C4** Major Commercial
- C4-30-H14** Downtown Commercial Core
- C4-30-H14** Downtown Traditional Main Street
- E1** Business Commercial Employment
- E2** General Employment

- M1** Medium Density Mixed Use
- M2** Medium / High Density Mixed Use
- M3** High Density Mixed Use
- G1** Conservation / Natural Area
- G2** Minor Green Space
- G3** Major Green Space
- I1** Local Neighbourhood Institutional
- I2** Community Institutional
- I3** Major Institutional
- A1** Agriculture
- A2** Agriculture Only
- A3** Agriculture Commercial / Industrial
- Municipal Boundary

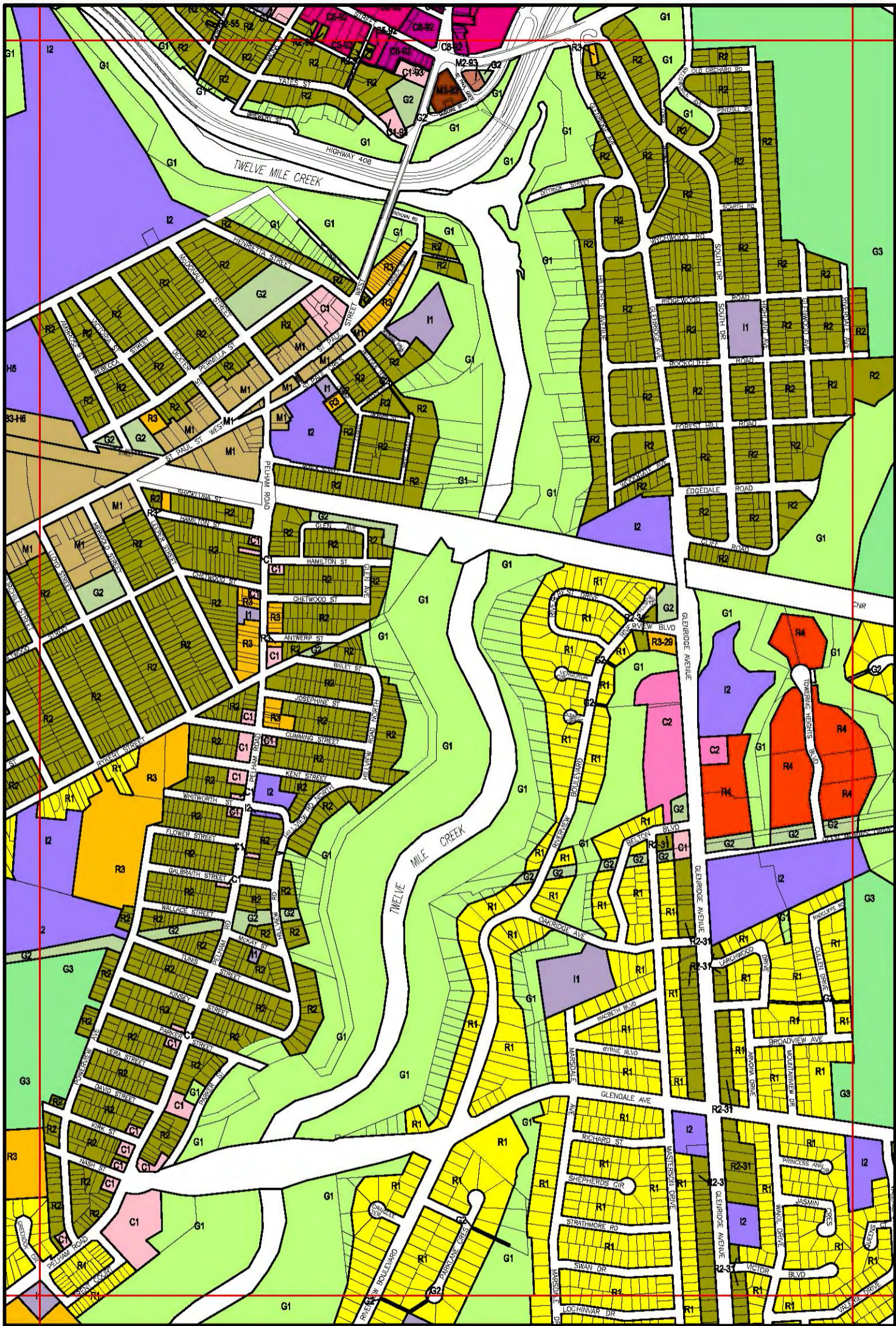
City of St. Catharines Zoning By-Law



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SCHEDULE A19

Last Modified: March 18, 2013



Zones

- R1** Low Density Residential - Suburban Neighbourhood
- R2** Low Density Residential - Traditional Neighbourhood
- R3** Medium Density Residential
- R4** High Density Residential
- C1** Local Convenience Commercial
- C2** Community Commercial
- C3** Arterial Commercial
- C4** Major Commercial
- C5** Downtown Commercial Core
- C6** Downtown Traditional Main Street
- E1** Business Commercial Employment
- E2** General Employment

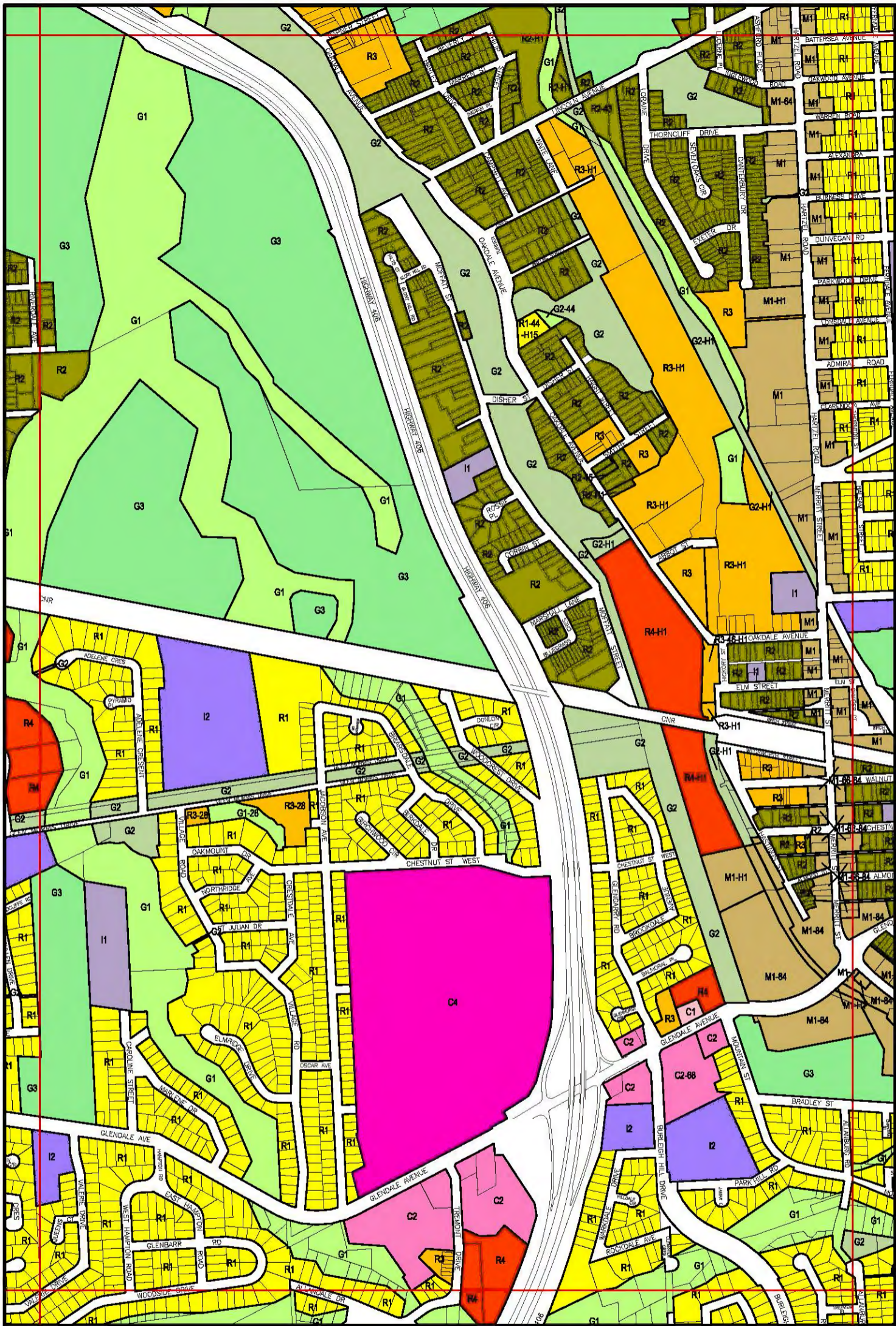
- M1** Medium Density Mixed Use
- M2** Medium / High Density Mixed Use
- M3** High Density Mixed Use
- G1** Conservation / Natural Area
- G2** Minor Green Space
- G3** Major Green Space
- I1** Local Neighbourhood Institutional
- I2** Community Institutional
- I3** Major Institutional
- A1** Agriculture
- A2** Agriculture Only
- A3** Agriculture Commercial / Industrial
- M** Municipal Boundary

**City of
St.Catharines
Zoning
By-Law**



SCHEDULE A20

Last Modified: March 18, 2013



Zones

- R1** Low Density Residential - Suburban Neighbourhood
- R2** Low Density Residential - Traditional Neighbourhood
- R3** Medium Density Residential
- R4** High Density Residential
- C1** Local Convenience Commercial
- C2** Community Commercial
- C3** Arterial Commercial
- C4** Major Commercial
- C5** Downtown Commercial Core
- C6** Downtown Traditional Main Street
- E1** Business Commercial Employment
- E2** General Employment

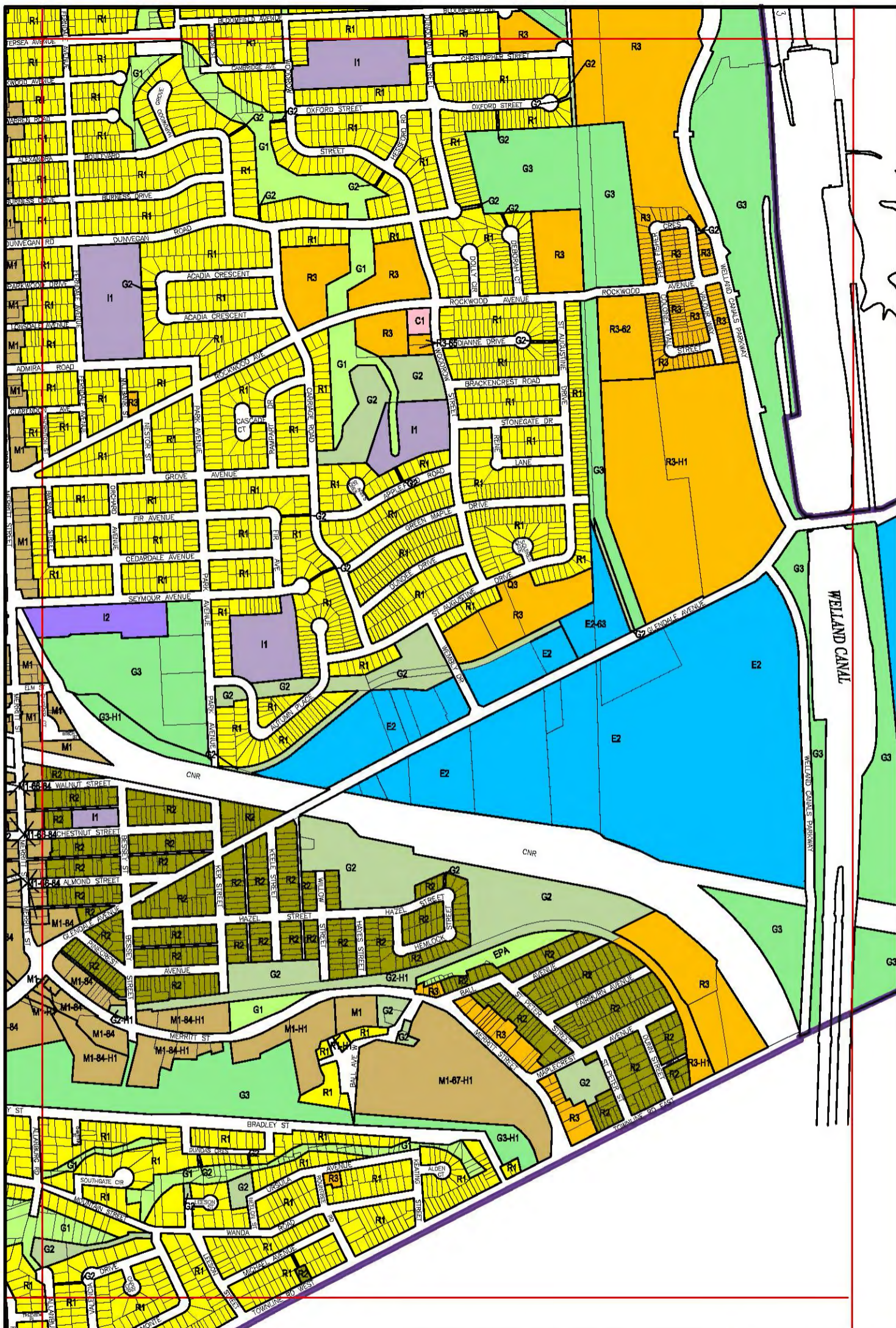
- M1** Medium Density Mixed Use
- M2** Medium / High Density Mixed Use
- M3** High Density Mixed Use
- G1** Conservation / Natural Area
- G2** Minor Green Space
- G3** Major Green Space
- I1** Local Neighbourhood Institutional
- I2** Community Institutional
- I3** Major Institutional
- A1** Agriculture
- A2** Agriculture Only
- A3** Agriculture Commercial / Industrial
- Municipal Boundary**

City of St. Catharines Zoning By-Law



SCHEDULE A21

Last Modified: March 18, 2013



Zones

- R1** Low Density Residential - Suburban Neighbourhood
- R2** Low Density Residential - Traditional Neighbourhood
- R3** Medium Density Residential
- R4** High Density Residential
- C1** Local Convenience Commercial
- C2** Community Commercial
- C3** Arterial Commercial
- C4** Major Commercial
- C5** Downtown Commercial Core
- C6** Downtown Traditional Main Street
- E1** Business Commercial Employment
- E2** General Employment

- M1** Medium Density Mixed Use
- M2** Medium / High Density Mixed Use
- M3** High Density Mixed Use
- G1** Conservation / Natural Area
- G2** Minor Green Space
- G3** Major Green Space
- I1** Local Neighbourhood Institutional
- I2** Community Institutional
- I3** Major Institutional
- A1** Agriculture
- A2** Agriculture Only
- A3** Agriculture Commercial / Industrial
- MP** Municipal Boundary

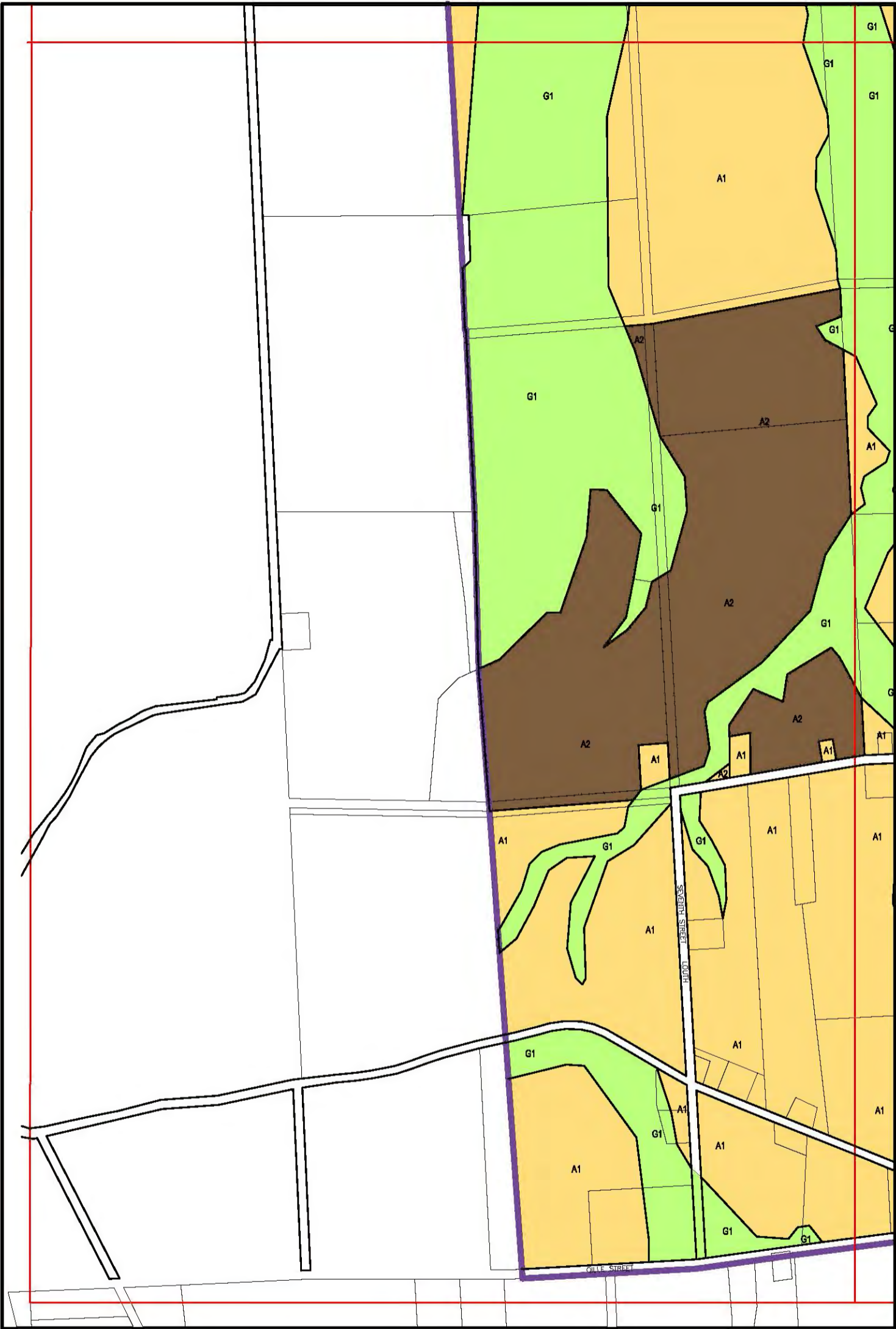
City of St. Catharines Zoning By-Law



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SCHEDULE A22

Last Modified: March 18, 2013



Zones

- R1** Low Density Residential - Suburban Neighbourhood
- R2** Low Density Residential - Traditional Neighbourhood
- R3** Medium Density Residential
- R4** High Density Residential
- C1** Local Convenience Commercial
- C2** Community Commercial
- C3** Arterial Commercial
- C4** Major Commercial
- C5** Downtown Commercial Core
- C6** Downtown Traditional Main Street
- E1** Business Commercial Employment
- E2** General Employment

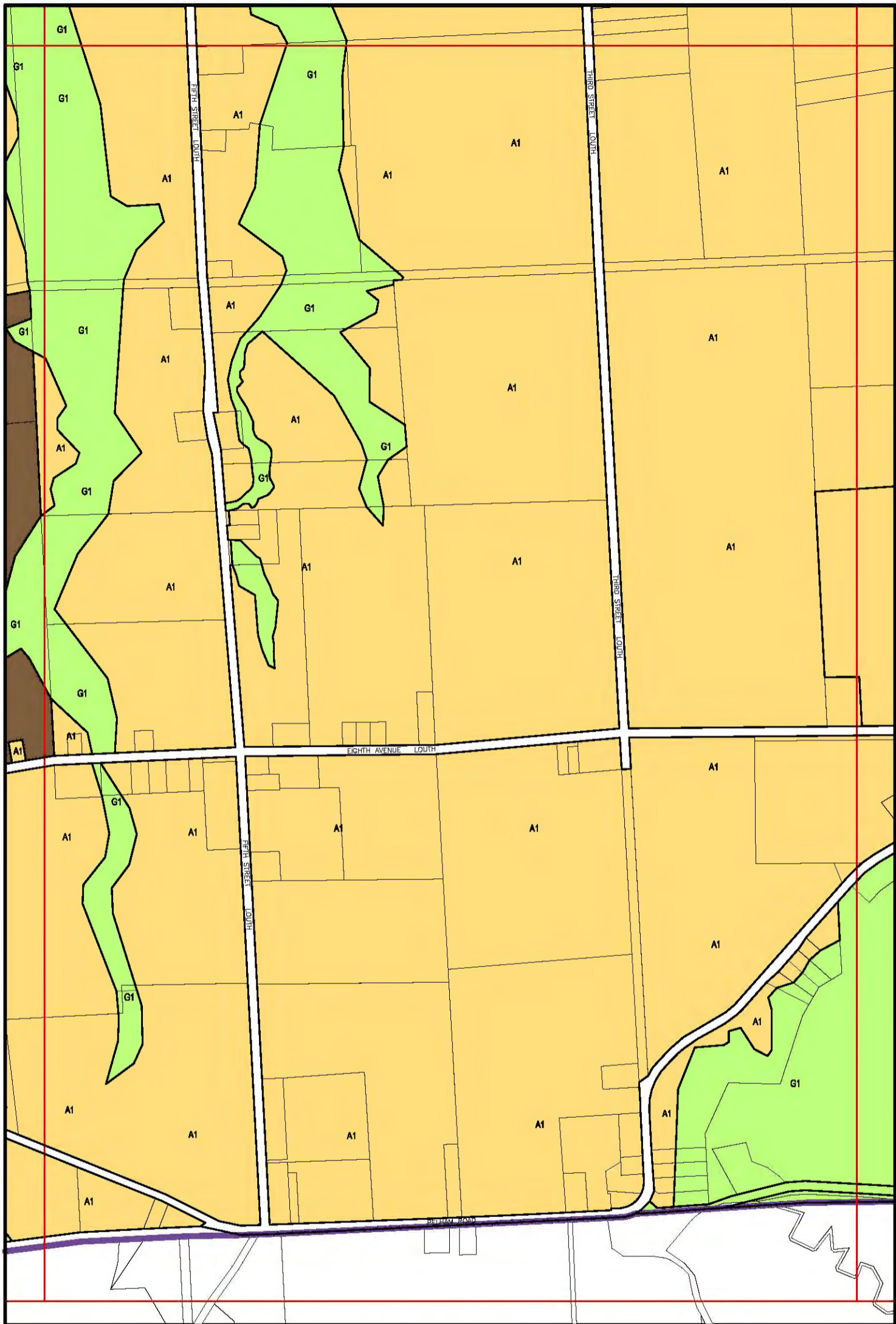
- M1** Medium Density Mixed Use
- M2** Medium / High Density Mixed Use
- M3** High Density Mixed Use
- G1** Conservation / Natural Area
- G2** Minor Green Space
- G3** Major Green Space
- I1** Local Neighbourhood Institutional
- I2** Community Institutional
- I3** Major Institutional
- A1** Agriculture
- A2** Agriculture Only
- A3** Agriculture Commercial / Industrial
- MB** Municipal Boundary

City of St. Catharines Zoning By-Law

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SCHEDULE A23

Last Modified: March 18, 2013



Zones

- R1 Low Density Residential - Suburban Neighbourhood
- R2 Low Density Residential - Traditional Neighbourhood
- R3 Medium Density Residential
- R4 High Density Residential
- C1 Local Convenience Commercial
- C2 Community Commercial
- C3 Arterial Commercial
- C4 Major Commercial
- C5 Downtown Commercial Core
- C6 Downtown Traditional Main Street
- E1 Business Commercial Employment
- E2 General Employment

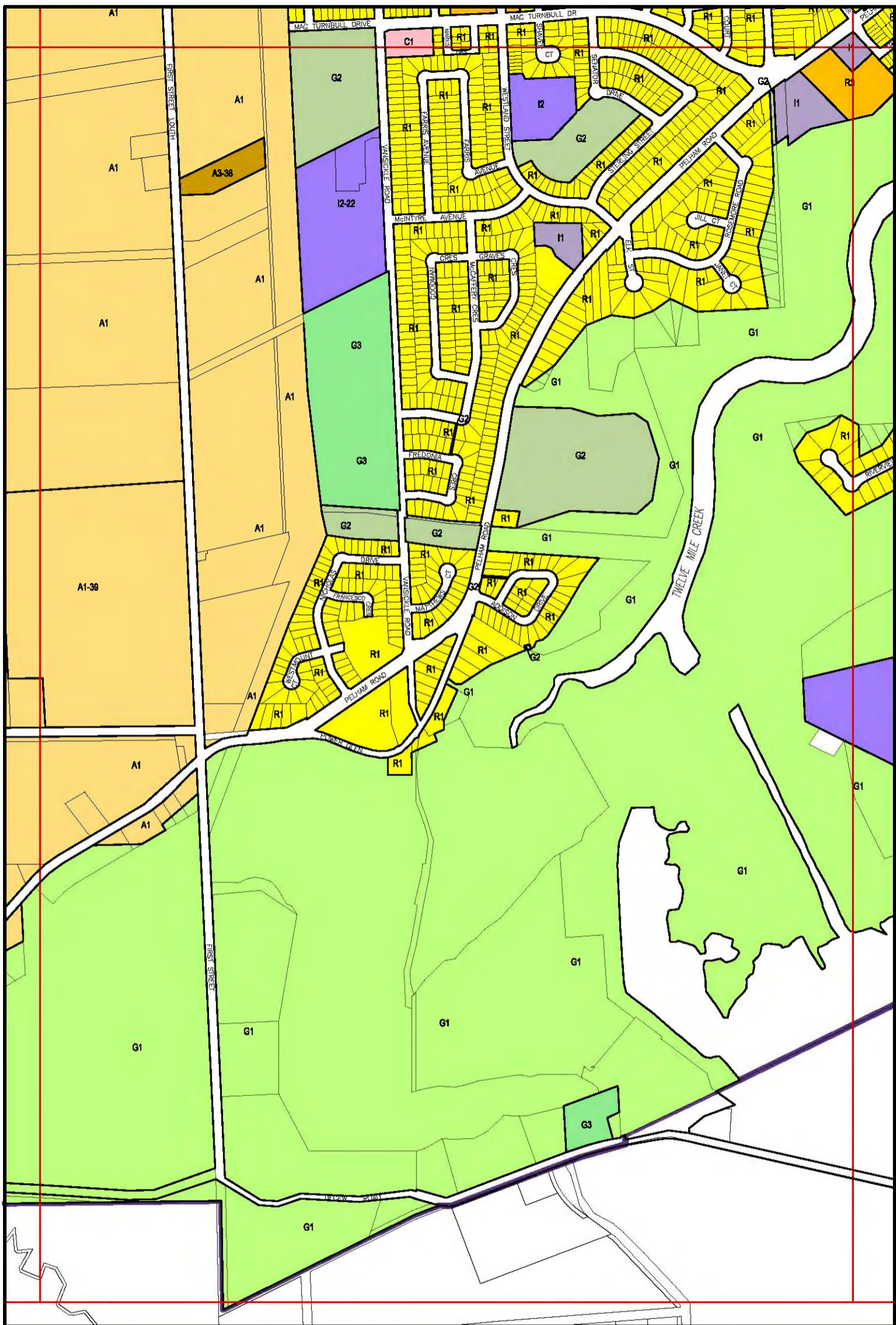
- M1 Medium Density Mixed Use
- M2 Medium / High Density Mixed Use
- M3 High Density Mixed Use
- G1 Conservation / Natural Area
- G2 Minor Green Space
- G3 Major Green Space
- I1 Local Neighbourhood Institutional
- I2 Community Institutional
- I3 Major Institutional
- A1 Agriculture
- A2 Agriculture Only
- A3 Agriculture Commercial / Industrial
- Municipal Boundary

City of St.Catharines Zoning By-Law



SCHEDULE A24

Last Modified: March 18, 2013



Zones

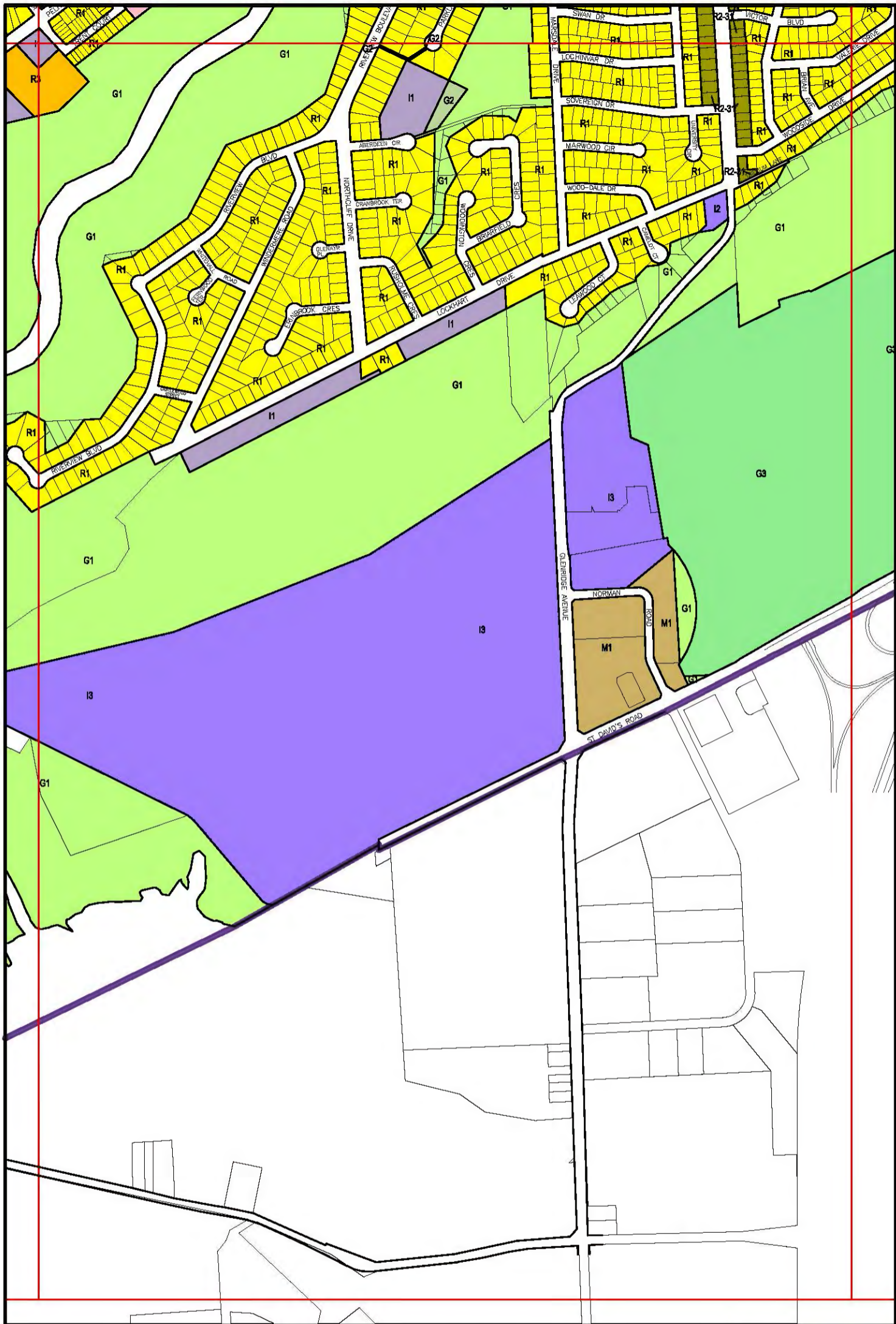
- R1** Low Density Residential - Suburban Neighbourhood
- R2** Low Density Residential - Traditional Neighbourhood
- R3** Medium Density Residential
- R4** High Density Residential
- C1** Local Convenience Commercial
- C2** Community Commercial
- C3** Arterial Commercial
- C4** Major Commercial
- C5** Downtown Commercial Core
- C6** Downtown Traditional Main Street
- E1** Business Commercial Employment
- E2** General Employment

- M1** Medium Density Mixed Use
- M2** Medium / High Density Mixed Use
- M3** High Density Mixed Use
- G1** Conservation / Natural Area
- G2** Minor Green Space
- G3** Major Green Space
- I1** Local Neighbourhood Institutional
- I2** Community Institutional
- I3** Major Institutional
- A1** Agriculture
- A2** Agriculture Only
- A3** Agriculture Commercial / Industrial
- Municipal Boundary

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SCHEDULE A25

Last Modified: March 18, 2013



Zones

- R1** Low Density Residential - Suburban Neighbourhood
- R2** Low Density Residential - Traditional Neighbourhood
- R3** Medium Density Residential
- R4** High Density Residential
- C1** Local Convenience Commercial
- C2** Community Commercial
- C3** Arterial Commercial
- C4** Major Commercial
- C5** Downtown Commercial Core
- C6** Downtown Traditional Main Street
- E1** Business Commercial Employment
- E2** General Employment

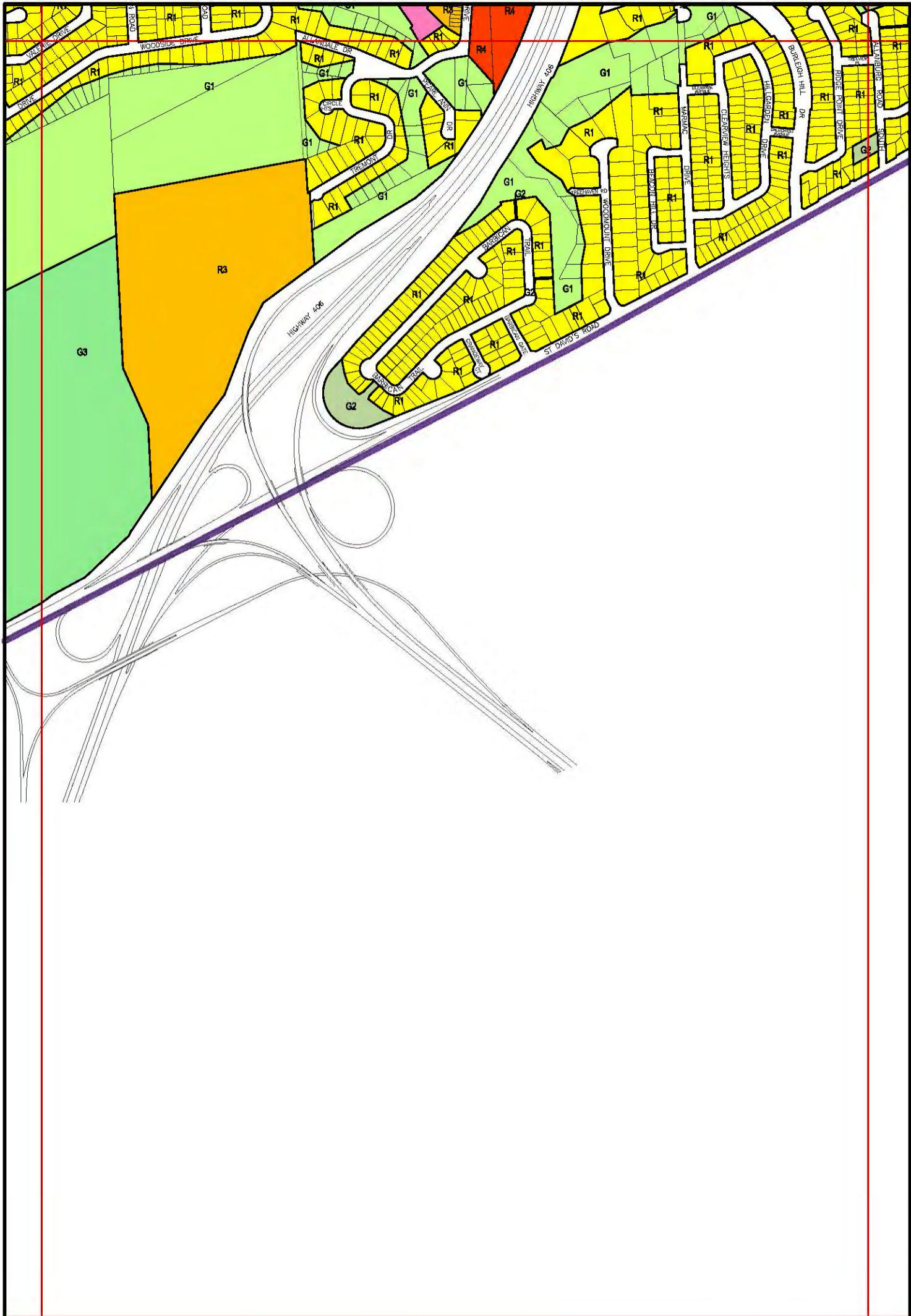
- M1** Medium Density Mixed Use
- M2** Medium / High Density Mixed Use
- M3** High Density Mixed Use
- G1** Conservation / Natural Area
- G2** Minor Green Space
- G3** Major Green Space
- I1** Local Neighbourhood Institutional
- I2** Community Institutional
- I3** Major Institutional
- A1** Agriculture
- A2** Agriculture Only
- A3** Agriculture Commercial / Industrial
- Municipal Boundary

City of St. Catharines Zoning By-Law



SCHEDULE A26

Last Modified: March 18, 2013



Zones

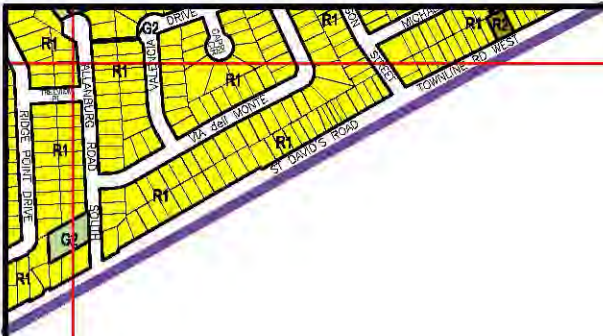
- | | |
|---|---|
| R1 Low Density Residential - Suburban Neighbourhood | M1 Medium Density Mixed Use |
| R2 Low Density Residential - Traditional Neighbourhood | M2 Medium / High Density Mixed Use |
| R3 Medium Density Residential | M3 High Density Mixed Use |
| R4 High Density Residential | G1 Conservation / Natural Area |
| C1 Local Convenience Commercial | G2 Minor Green Space |
| C2 Community Commercial | G3 Major Green Space |
| C3 Arterial Commercial | I1 Local Neighbourhood Institutional |
| C4 Major Commercial | I2 Community Institutional |
| C5 Downtown Commercial Core | I3 Major Institutional |
| C6 Downtown Traditional Main Street | A1 Agriculture |
| E1 Business Commercial Employment | A2 Agriculture Only |
| E2 General Employment | A3 Agriculture Commercial / Industrial |
| | MB Municipal Boundary |

**City of
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SCHEDULE A27

Last Modified: March 18, 2013



Zones

- | | |
|---|---|
| R1 Low Density Residential - Suburban Neighbourhood | M1 Medium Density Mixed Use |
| R2 Low Density Residential - Traditional Neighbourhood | M2 Medium / High Density Mixed Use |
| R3 Medium Density Residential | M3 High Density Mixed Use |
| R4 High Density Residential | G1 Conservation / Natural Area |
| C1 Local Convenience Commercial | G2 Minor Green Space |
| C2 Community Commercial | G3 Major Green Space |
| C3 Arterial Commercial | I1 Local Neighbourhood Institutional |
| C4 Major Commercial | I2 Community Institutional |
| C5 Downtown Commercial Core | I3 Major Institutional |
| C6 Downtown Traditional Main Street | A1 Agriculture |
| E1 Business Commercial Employment | A2 Agriculture Only |
| E2 General Employment | A3 Agriculture Commercial / Industrial |
| | Municipal Boundary |

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SCHEDULE A28

Last Modified: March 18, 2013



Zones

- R1 Low Density Residential - Suburban Neighbourhood
- R2 Low Density Residential - Traditional Neighbourhood
- R3 Medium Density Residential
- R4 High Density Residential
- C1 Local Convenience Commercial
- C2 Community Commercial
- C3 Arterial Commercial
- C4 Major Commercial
- C5 Downtown Commercial Core
- C6 Downtown Traditional Main Street
- E1 Business Commercial Employment
- E2 General Employment

- M1 Medium Density Mixed Use
- M2 Medium / High Density Mixed Use
- M3 High Density Mixed Use
- G1 Conservation / Natural Area
- G2 Minor Green Space
- G3 Major Green Space
- I1 Local Neighbourhood Institutional
- I2 Community Institutional
- I3 Major Institutional
- A1 Agriculture
- A2 Agriculture Only
- A3 Agriculture Commercial / Industrial
- Municipal Boundary

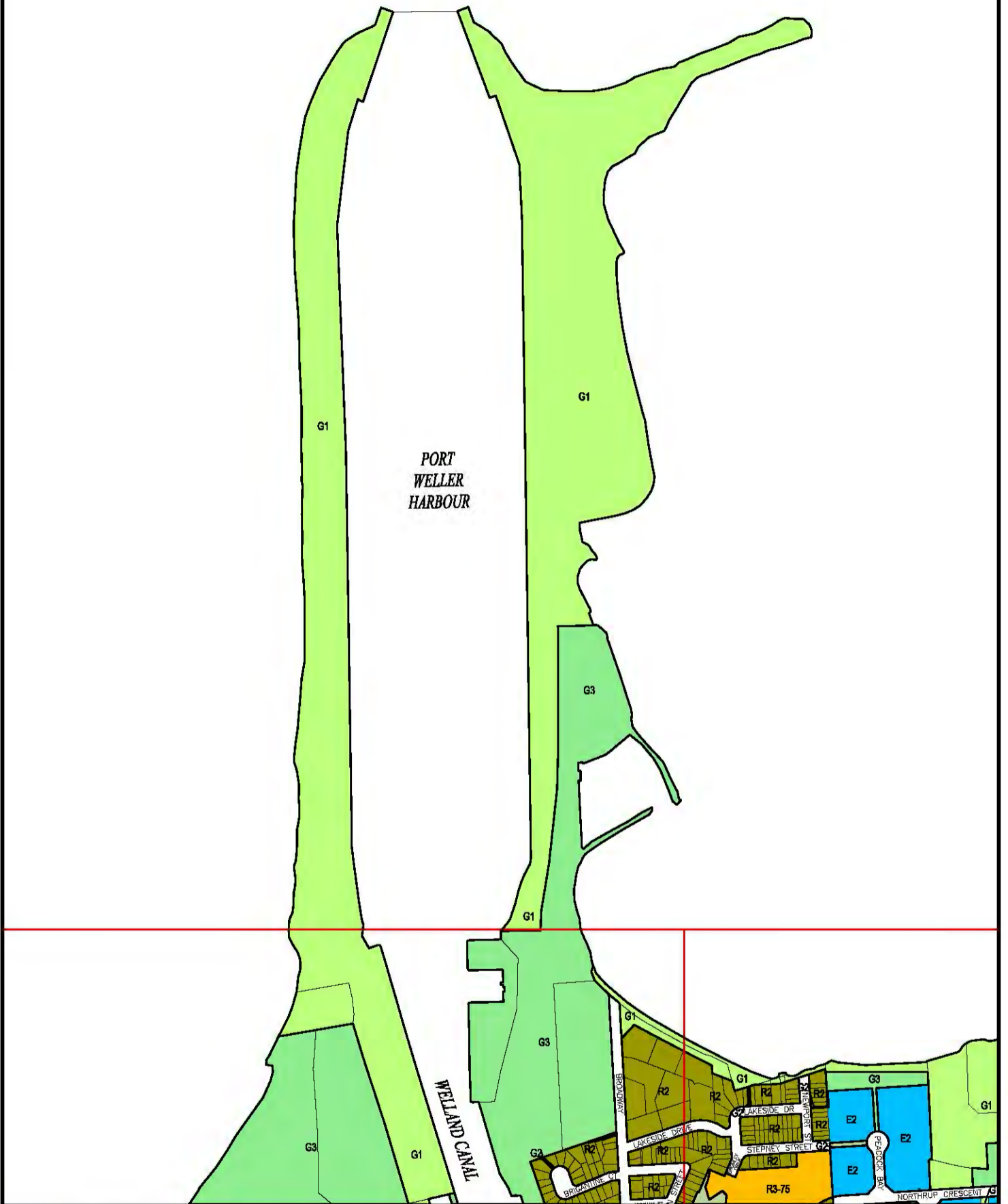
City of St.Catharines Zoning By-Law



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SCHEDULE A29

Last Modified: March 18, 2013



Zones

- R1** Low Density Residential - Suburban Neighbourhood
- R2** Low Density Residential - Traditional Neighbourhood
- R3** Medium Density Residential
- R4** High Density Residential
- C1** Local Convenience Commercial
- C2** Community Commercial
- C3** Arterial Commercial
- C4** Major Commercial
- C5** Downtown Commercial Core
- C6** Downtown Traditional Main Street
- E1** Business Commercial Employment
- E2** General Employment

- M1** Medium Density Mixed Use
- M2** Medium / High Density Mixed Use
- M3** High Density Mixed Use
- G1** Conservation / Natural Area
- G2** Minor Green Space
- G3** Major Green Space
- I1** Local Neighbourhood Institutional
- I2** Community Institutional
- I3** Major Institutional
- A1** Agriculture
- A2** Agriculture Only
- A3** Agriculture Commercial / Industrial
- Municipal Boundary

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SCHEDULE A30

Last Modified: March 18, 2013