

City of St. Catharines

Zoning By-Law

November 4, 2013



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PREAMBLE

Introduction

This preamble explains the purpose of this Zoning By-law and how it should be used. While this preamble does not form part of the zoning by-law passed by Council it is intended to make the zoning by-law more understandable and easier to reference.

Purpose of this Zoning By-law

The purpose of this Zoning By-law is to implement the policies of the City of St. Catharines Garden City Plan, which is the City's Official Plan. The Garden City Plan contains general policies that affect the use of land throughout the municipality. These policies specify where certain land uses are permitted and, in some instances, specify what regulations should apply to the development of certain lots. This Zoning By-law replaces the City's existing zoning by-laws which are referenced in Section 1.1.11 of this By-law.

The Garden City Plan is a general document that is not intended to regulate every aspect of the built form on a lot. This is generally the role of the zoning by-law. Once an Official Plan, our Garden City Plan, is in effect any zoning by-law passed by Council must conform to it. For example, if the Garden City Plan stated that lands in the vicinity of a significant natural feature are to remain in its natural state, the zoning by-law would prohibit the construction of buildings or structures on those lands.

The statutory authority to zone land is granted by the Planning Act R.S.O. 1990, c.p. 13 as amended (the "Planning Act"). The Planning Act specifies what a by-law can regulate. A zoning by-law can:

- prohibit the use of a lot or buildings for any use that is not specifically permitted by the by-law;
- prohibit the construction or siting of buildings and structures on a lot except in locations permitted by the by-law;
- regulate the type of construction and the height, bulk, location, size, floor area, spacing, and use of buildings or structures;
- regulate the minimum frontage and depth of a lot;
- regulate the proportion of a lot that any building or structure may occupy;
- regulate the minimum elevation of doors, windows or other openings in buildings or structures;
- require parking and loading facilities be provided and maintained for a purpose permitted by the by-law; and
- prohibit the use of lands and the construction of buildings or structures on land that has environmental or archaeological constraints.

Description of By-Law Components

This By-Law contains 15 sections which taken together provides the standards applicable to all lots within the municipality. Section 16 does not form part of this By-law, and is provided to assist in the interpretation and implementation of the by-law.

The purpose of each of these sections is described below.

SECTION 1 ADMINISTRATION AND INTERPRETATION

This section of the By-law specifies:

- what lots are governed by the By-law;
- that every lot in the area covered by this By-law shall conform and comply with this By-law; and,
- what penalties can be levied against a person or a corporation if this By-law is contravened.

SECTION 2 GENERAL PROVISIONS

This section contains a number of regulations that apply to certain types of uses, buildings or structures regardless of where in the municipality or in what zone they are located. For example, this section contains provisions dealing with the construction of accessory buildings and provisions that regulate the operation of a home based business.

SECTION 3 GENERAL PARKING PROVISIONS

This section provides regulations dealing with the number of parking spaces required for uses, accessible parking spaces, minimum parking space size, bicycle parking facilities, and the location of parking facilities on a lot.

SECTION 4 ESTABLISHMENT OF ZONES

This section sets out the zones and a list of the uses permitted in each zone. If a use is not specifically listed as a permitted use in a zone then it is not permitted. In some zones certain uses are only permitted under specific circumstances or only together with other uses.

SECTION 5 TO 11 ZONE PROVISIONS

These sections list the uses that are permitted in each zone and contain a number of regulations that control the location and character of buildings and structures, and includes among other things, regulations governing lot size, lot frontage, and building height.

SECTION 12 DEFINITIONS

Definitions in this section provide clarity and consistency in the implementation of this By-law.

SECTION 13 SPECIAL PROVISIONS

This Section provides a consolidated list of lots with special zoning provisions that are exceptions to the normal zone requirements of this By-law. Lots subject to special provisions are identified on the map schedules in Section 15.

SECTION 14 HOLDING PROVISIONS

This Section provides a consolidated list of lots with specific conditions, called Holding provisions, that must be satisfied prior to development or re-development. Lots subject to holding provisions are identified on the map schedules in Section 15.

SECTION 15 MAP SCHEDULES

This section contains maps of the City showing the zoning of each lot, site specific lot information where applicable, and the Natural Area Extent Line showing the extent and limit of all natural heritage features and natural hazard lands currently identified by upper tier government and agencies.

SECTION 16 APPENDICES

The appendices contain a series of drawings, illustrations and maps. The appendices do not constitute part of this By-law but contain information which will be applied in the interpretation and implementation of this By-law.

SECTION 1 ADMINISTRATION AND INTERPRETATION

1.1 Administration and Interpretation

1.1.1. Administration

This By-law shall be administered and enforced by the City of St. Catharines ("City") and applies to all lots within the City. Despite this By-law, all lots within the Niagara Escarpment Plan boundary are subject to the regulations made pursuant to the Niagara Escarpment Planning and Development Act.

1.1.2. Conformity and Compliance with By-law

No person shall change the use of any building, structure or lot; erect or use any building or structure; or occupy any building, structure or lot except in accordance with the provisions of this By-law. Where any building, structure or lot is used for more than one purpose, all provisions of this By-law relating to each separate use shall be applied. All applicable provisions of this By-law apply to an individual lot, unless stated otherwise.

Any use not specifically permitted by this By-law is not permitted. A use defined in Section 12 but not identified as a permitted use in any zone or by special provision is not permitted.

1.1.3. Interpretation

Nothing in this By-law shall serve to relieve any person from any obligation to comply with the requirements of any other by-law of the City, or any other regulation, requirement or standard of upper tier governments and agencies, including but not limited to the Regional Municipality of Niagara, the Province of Ontario, the Government of Canada, the Canadian National Railway, the Niagara Peninsula Conservation Authority, the Ministry of Transportation, the Ministry of Agriculture Food and Rural Affairs, the Ministry of the Environment, the Niagara Escarpment Commission, and other Provincial and Federal Ministries, departments and agencies.

Schedule D 'Natural Area Extent Line' identifies the extent and limit of all natural heritage features and natural hazard lands currently identified by upper tier government and agencies where, in addition to zoning shown on the schedules of this By-law, the use of any land within or adjacent to the Natural Area Extent Line may be subject to additional regulations or restrictions by the City, upper tier government or agencies.

Appendices 16.1.1 to 16.1.4 identify additional development constraints reference mapping, including Transportation – Provincial Highway Control and Railway Control; the Niagara Natural Environment Screening Layer, the Niagara Escarpment Plan boundary and Development Control Area; Airport Zoning Regulations; currently identified former landfill sites; and currently identified livestock operations where Minimum Distance Separation formulae may be applicable.

1.1.4 Definitions

Unless otherwise defined in Section 12, the words and phrases used in this By-law have their common meaning.

1.1.5 Public Utilities

Nothing in this By-law shall prevent the use of any land for the erection of buildings or structures, or the installation of public works providing public utilities by a regulated company or government agency.

1.1.6 Schedules

The Schedules attached to this By-law form part of this By-law. Schedule A shows the Zones and zone boundaries. Schedules B and C show detailed lot specific information. Schedule D shows the Natural Area Extent Line indicating the extent and the limit of all natural heritage features and natural hazard lands currently identified by upper tier government and agencies.

1.1.7 Interpretation of Zone Boundaries

When determining the boundary of any zone as shown on the Schedules forming part of this By-law the following shall apply:

- a) A boundary indicated as following a highway, street, lane, railway right-of-way, or utility corridor shall be construed to be the centreline of such highway, street, lane, railway right-of-way, utility corridor.
- b) A boundary indicated as following a shoreline or a top of bank shall follow such shoreline or top of bank as located through survey or other similar means. In the event of a change in the shoreline or top of bank the boundary shall move with the actual shoreline or top of bank.
- c) A boundary indicated as following lot lines or the municipal boundaries of the City of St. Catharines shall follow such lot lines or municipal boundary.
- d) Where none of the above apply, the zone boundary shall be scaled from the Schedule(s).

1.1.8 Enforcement

Any person or corporation that contravenes any provision of this By-law is guilty of an offense and upon conviction is liable to the penalties as provided for in the Planning Act. R.S.O. 1990, Chapter P. 13 as amended (the Planning Act).

1.1.9 Severability

A decision of a court that one or more of the provisions of this By-law are invalid in whole or in part does not affect the validity, effectiveness or enforceability of the other provisions or parts of the provisions of this By-law.

1.1.10 Effective Date

This By-law shall come into force the day it is passed.

1.1.11 Repeal of Former By-laws

- a) City of St. Catharines By-law 88-72 (Zoning Area No. 1) is repealed in its entirety, including all of the Sections, Schedules and amendments that apply to all of the lots subject to By-law 88-72.
- b) City of St. Catharines By-law 68-121 (Zoning Area No. 2) is repealed in its entirety, including all of the Sections, Schedules and amendments that apply to all of the lots subject to By-law 68-121.
- c) City of St. Catharines By-law 66-165 (Zoning Area No. 3) is repealed in its entirety, including all of the Sections, Schedules and amendments that apply to all of the lots subject to By-law 66-165.
- d) City of St. Catharines By-law 64-270 (Zoning Area No. 4) is repealed in its entirety, including all of the Sections, Schedules and amendments that apply to all of the lots subject to By-law 64-270.
- e) City of St. Catharines By-law 6756 (Zoning Area No. 5) is repealed in its entirety, including all of the Sections, Schedules and amendments that apply to all of the lots subject to By-law 6756.

- f) City of St. Catharines By-law 83-211 (Zoning Area No. 6) is repealed in its entirety, including all of the Sections, Schedules and amendments that apply to all of the lots subject to By-law 83-211.
- g) City of St. Catharines By-law 62-86 (Zoning Area No. 7) is repealed in its entirety, including all of the Sections, Schedules and amendments that apply to all of the lots subject to By-law 62-86.
- h) City of St. Catharines By-law 6609 (Zoning Area No. 8) is repealed in its entirety, including all of the Sections, Schedules and amendments that apply to all of the lots subject to By-law 6609.
- i) City of St. Catharines By-law 64-207 (Zoning Area No. 9) is repealed in its entirety, including all of the Sections, Schedules and amendments that apply to all of the lots subject to By-law 64-207.
- j) City of St. Catharines By-law 84-119 (Zoning Area No. 10) is repealed in its entirety, including all of the Sections, Schedules and amendments that apply to all of the lots subject to By-law 84-119.
- k) City of St. Catharines By-law 71-224 (Zoning Area No. 11) is repealed in its entirety, including all of the Sections, Schedules and amendments that apply to all of the lots subject to By-law 71-224.

1.1.12 Transition

- a) Despite Section 1.1.11 this By-law does not apply to prevent the issuance of a building permit for a project for which a complete application for a:
 - i. Building permit;
 - ii. Committee of Adjustment approval;
 - iii. Site plan control approval;
 - iv. Part lot control approval;
 - v. Approval of draft plan of subdivision or draft plan of condominium; or
 - vi. Subdivision or condominium agreement.was received on or after January 1, 2011 and on or prior to December 16, 2013.
- b) For the purposes of subsection a), “complete application” means an application which could have been approved or granted on December 16, 2013 had it been processed or disposed of on that day.
- c) Where a project qualifies under Subsection a), the building permit for that project may be issued, or the Committee of Adjustment approval, the site plan control approval, the part lot control approval, subdivision or condominium agreement, and the approval of the draft plan of subdivision or draft plan of condominium may be granted if the project in question complies with the provisions of the applicable zoning by-law as it read on December 16, 2013.
- d) Nothing in this By-law applies so as to continue the exemption provided by this section beyond the issuance of the permit upon which the exemption is founded; and in no case does the exemption mentioned in subsection c) continue beyond the repeal of this subsection.

- e) Once the permit, agreement or approval under subsection a) has been granted, the provisions of this By-law apply to the land in question.
- f) Subsections a) to e) are repealed three years from the date of enactment of this By-law.

SECTION 2 GENERAL PROVISIONS

The General Provisions of this By-law shall apply to all zones unless specifically stated otherwise.

2.1 Accessory Buildings and Structures

Buildings and structures accessory to a permitted use are permitted in all zones, except the Conservation / Natural Area (G1) Zone and except as noted elsewhere in this By-law, shall not:

- a) Be used as a dwelling unit;
- b) Be located in a required front yard or exterior side yard;
- c) Be located within any sight triangle;
- d) Exceed a building height of 4.5 m;
- e) Exceed 10% of the total lot area, excluding in-ground swimming pools; and
- f) Be located less than 0.6 m from an interior side or rear lot line.

2.1.1 Detached Garage

A detached garage shall be located at least 1 m further distant from the front lot line than the front wall of the dwelling.

2.1.2 Multi-Level Accessory Parking Structures

A multi-level accessory parking structure shall comply with the applicable principal use requirements of this By-law.

2.2 Accessory Uses to a Dwelling

2.2.1 Interior Accessory Dwelling Unit

One interior accessory dwelling unit is permitted in any detached dwelling, semi-detached dwelling unit or townhouse dwelling unit provided the following:

- a) The interior accessory dwelling unit is entirely within the exterior walls of the principal building;
- b) The floor area of the interior accessory dwelling unit shall not exceed 60 m² or 40% of the floor area of the building excluding an attached garage, whichever is less; and
- c) The lot complies with all other provisions of this By-law.

Interior accessory dwelling unit is not permitted in a Private Road Development.

2.2.2 Detached Accessory Dwelling

Where permitted by Section 13 Special Provision, a detached accessory dwelling unit shall be subject to Section 2.1 b) to f), Section 2.1.1, and the following provision:

- a) The floor area shall not exceed 105 m² or 40% of the floor area of the principal dwelling unit, whichever is less;

2.2.3 One Accessory Dwelling Unit

One accessory dwelling unit, either interior or detached, is permitted per principal dwelling unit.

2.2.4 Home Based Business

A home based business is permitted within a dwelling unit in any zone subject to the following regulations:

- a) Uses that are not permitted:
 - i. automotive related uses
 - ii. small engine repair
 - iii. kennel, except in the Agriculture (A1) Zone
- b) No machinery or processes which emit noise, vibration, glare, fumes, odour, dust, radio or television interference beyond the premises are permitted in conjunction with a home based business;
- c) The use occupies a maximum floor area of 25% of the total dwelling unit floor area, to a maximum of 40 m² ;
- d) There shall be no outdoor storage or other outdoor activities associated with the home based business;
- e) The home based business shall be conducted by a person(s) residing in the dwelling, and may include one non-resident employee;
- f) The sale of goods that are incidental to the home based business shall be permitted;
- g) Only one hairdressing chair is permitted;
- h) The use is not permitted in an attached garage or accessory structure; and
- i) The residential appearance and character of the dwelling shall be maintained.

2.2.4.1 Bed and Breakfast

A bed and breakfast is a permitted use within a detached dwelling subject to Section 2.2.4 and the following additional regulations:

- a) Despite Section 2.2.4. c), a maximum of 4 rental rooms are permitted; and
- b) The bed and breakfast shall provide meals to guests of the bed and breakfast only.

2.2.4.2 Home Daycare

A home daycare is permitted subject to Section 2.2.4 and the following:

- a) The maximum number of non-resident persons being supervised is five;
- b) Despite Section 2.2.4 d) an outdoor recreation area is permitted; and
- c) Section 2.2.4 c) does not apply.

2.2.4.3 Kennels

Despite Section 2.2.4 c), d) and h), a kennel is permitted in the Agriculture (A1) Zone, subject to the following:

- a) Also permitted in an accessory structure, and may include enclosed outdoor exercise areas or pens;

- b) Shall not exceed 93 m² glfa, inclusive of outdoor exercise areas or pens; and
- c) A minimum setback of 60 m from any property lot line for all kennel related facilities.

2.3 Buildings on One Lot

Except where otherwise permitted in Private Road Developments only one principal building of the following types shall be permitted on one lot:

- a) A detached dwelling;
- b) A semi-detached dwelling;
- c) A duplex dwelling;
- d) A triplex dwelling;
- e) A fourplex dwelling; or
- f) A quadruplex dwelling.

2.4 Common Walls on Lot Lines

There is no minimum interior side yard and/or rear yard for common walls

2.5 Sight Triangle

Unobstructed sight triangles are required on all corner lots in all zones.

The area within a sight triangle shall be determined by measuring from the point of intersection of the front and exterior side lot lines on a corner lot to a point along each such lot line as set out in Section 2.5.1, and joining such points with a straight line.

2.5.1 Sight Triangle Table

Sight triangles shall be established in accordance with the following:

Zone	Minimum Distance along Each Lot Line from Corner
Residential Zones	6 m
All Other Zones	7.5 m

2.6 Lot Frontage on Public Roads

- a) No person shall develop or construct a building or structure or otherwise use any lot unless the lot fronts on a public road.
- b) Subsection a) does not apply to a lot used for:
 - i. A utility installation;
 - ii. A cemetery;
 - iii. A conservation/natural area.
- c) Lot frontage shall be measured:
 - i. 6 m from the front lot line and parallel to the front lot line; or
 - ii. 6 m from the chord and parallel to the chord if the front lot line is a curve.

2.7 Height

2.7.1 Where Height is Measured

Height is measured from the grade at the principal entrance of the building.

2.7.2 How Height is Measured

- a) For a Principal Building:
 - i. From the grade at the principal entrance to the mid-point between the eaves and the ridge of a pitched roof, or the highest point of the roof surface of a flat roof.
- b) For an Accessory Building and Structure
 - i. In Residential Zones – from the grade to the highest point of the roof.
 - ii. In all other zones – mid-point between the eaves and the ridge of a pitched roof or the highest point of the roof surface of a flat roof.

2.7.3 Height Exceptions

The height regulations of this By-law shall not apply to spires, water tanks, chimneys, flag poles, communication towers, skylights, roof top mechanical equipment or elevator enclosures.

2.8 Operating Apparatus

The following provisions shall apply to all Residential zones and lots abutting a Residential zone. Operating apparatus shall:

- a) Be setback a minimum of 0.6 m from any rear and side lot line; and
- b) Be permitted in a front yard, and setback no greater than 0.5 m from the front building wall.

2.9 Outdoor Storage

Except where otherwise noted, outdoor storage and garbage storage areas shall only be permitted in an interior side yard or a rear yard.

2.10 Permitted Encroachments

Except where otherwise permitted in this By-law every part of any required yard for a building or structure shall be open and unobstructed from the ground to the sky except for:

2.10.1 General Structures

Structure Type	Yard Permitted	Maximum Encroachment Into the Required Yard
Eaves and Gutters	All	to be within 0.15 m of the lot line
Uncovered Stairs or Ramps to first Storey	All	to lot line
Chimneys	All	0.6 m
Fire Escapes and Exterior Staircases	Interior and exterior side Rear	1.2 m
Cantilever – Walls or Windows	All	0.3 m and no greater than 50% of the total area of the wall facade

	Front and Rear	0.6 m and no greater than 25% of the total area of the wall facade
--	----------------	--

2.10.2 Platform Structure (Deck, Porch, Balcony)

	Height of Platform		
	Height above the grade to 0.6 m	Height above the grade more than 0.6 m and less than 1.2 m	Height above the grade more than 1.2 m
Minimum Setback from Exterior Side Lot Line	3 m	3 m	Required exterior yard of principal building
Minimum Setback from Interior Side Lot Line	Required interior side yard of principal building		
Minimum Setback from Rear Lot Line	1.8 m	3 m	4.5 m
Minimum Setback from Front Lot Line	3 m	3 m	Required exterior yard of principal building
Maximum Area	50% of the yard in which it is located	50% of the yard in which it is located	30 m ²

2.10.3 Enclosed Structures

Any enclosed platform structure, enclosed steps, or enclosed barrier-free ramps are deemed to be part of the building to which they are attached and shall meet all required yards.

2.11 Temporary Buildings and Structures

Despite any other provisions of this By-law, lots may be used for buildings or structures constructed or used for a temporary period for a construction camp, construction trailer, sales trailer, scaffold or other building or structure incidental to ongoing construction on the lot which has neither been finished nor abandoned.

2.12 Model Homes

Model homes shall be permitted subject to the following provisions:

- a) The lands on which the model homes are to be constructed have received draft plan approval; and
- b) The location of the model homes shall comply with the provisions of this By-law upon registration of the plan of subdivision; and
- c) The number of model homes for any draft approved plan of subdivision shall not exceed the lesser of six (6) dwelling units or 10% of the total number of draft approved lots.

2.13 Community Garden

A Community Garden shall be permitted in all zones except the Conservation/Natural Area (G1) Zone, subject to Section 1.1.3 and Section 2.19.

2.14 Playground and Trails

- a) A Playground shall be permitted as an accessory use in all zones, except the Conservation / Natural Area (G1) Zone.
- b) Trails shall be permitted in all zones, subject to Section 1.1.3 and Section 2.19 where applicable.

2.15 Non-Complying Buildings and Lots

In addition to the following, Section 1.1.3 shall also apply.

2.15.1 Existing Lots

Despite the provisions of this By-law to the contrary, a lot held in separate ownership from adjoining parcels on the date of the passing of this By-law, or a lot as shown on any plan of subdivision registered prior to the passing of this By-law that is not in compliance with the lot frontage and/or lot area requirements of this By-law may be used for a purpose permitted in this By-law in the zone applicable for that lot, provided that all other provisions in this By-law are met.

2.15.2 Lots Reduced by Public Acquisition

Where the area of a lot is reduced by means of an acquisition by a public agency and where such acquisition causes the lot or any building or structure existing lawfully on the lot on the date of such acquisition not to comply with the requirements of this By-law, the lot and/or any building(s) or structure(s) shall be deemed to comply with this By-law.

A building or structure may be constructed on a lot as so reduced, subsequent to the date of such acquisition, provided that all other provisions of this By-law are met.

Where a required yard has been reduced through such acquisition nothing shall prevent an addition to a building or structure, as long as the addition does not further reduce the established yard.

2.15.3 Rebuilding

Nothing in this By-law shall apply to prevent the restoration, repair, renovation or the replacement of any lawfully constructed building or structure existing prior to the passing of this By-law, provided that such restoration, repair, renovation or replacement will not increase the height, size, volume or change the use of such building or structure unless in compliance with this By-law.

2.15.4 Lots Deemed to Comply

Where a lot is created to permit the conveyance of a semi-detached, street townhouse or quadruplex dwelling unit, the lot shall be deemed to comply with the minimum landscaped open space, maximum lot coverage for accessory structures, and maximum residential parking coverage requirements of this By-law as long as the original lot subject to the conveyance complied with these provisions prior to creation of the new lot.

2.15.5 Rebuilding and Extensions

Despite the provisions of this By-law, a lawfully existing building or structure lawfully constructed prior to the date of passing of this By-law and which has less than any of the yard requirements of this By-law, may be enlarged, repaired or renovated, provided that the enlargement, repair or renovation does not further reduce the existing yard(s), and all other provisions of this By-law are met.

2.16 Non-Conforming Uses

- a) This By-law shall not prevent the use of any lot, building or structure for any purpose prohibited herein if such lot, building or structure was lawfully used for such purposes on the day of the passing of this By-law provided that such lot, building or structures continues to be used for that purpose.
- b) This By-law shall not prevent the construction or use for a purpose prohibited herein of any building or structure for which a building permit has been issued and not revoked in accordance with the Building Code Act 1992 prior to the day of the passing of this By-law as long as, when constructed, the building or structure is used and continues to be used for the purpose for which it was constructed.

2.17 Average Building Line

The minimum front yard and / or minimum exterior side yard may be reduced to the average of the established front and / or exterior side yards on abutting lots on either side of the subject lot. On a corner lot, the average of the established front and / or exterior side yard will be taken from the immediate abutting lot and the lot across the road on the same side of the road.

2.18 Special Needs Housing

Special Needs Housing shall be permitted in all dwelling types, and shall comply with the applicable provisions of this By-law for that dwelling type.

2.19 Development Constraints

In addition to the zone provisions of this By-law, lands may be subject to additional regulation or restriction of use by the City, upper tier government or agencies as set out in Section 1.1.3 of this By-law, including but not limited to:

- a) Lands within or adjacent to the Natural Area Extent Line as set out on Schedule D of this By-law. Any land within or adjacent to the Natural Area Extent Line may be subject to additional regulation or restriction of use with respect to protection, preservation, restoration, maintenance or improvement of natural heritage features and natural hazard lands.
- b) Lands subject to Provincial Highway Control or Railway Development Constraints (Appendix 16.1.1).
- c) Lands within the Niagara Natural Environment Screening Layer (Appendix 16.1.2).
- d) Lands subject to Airport Zoning Regulations (Appendix 16.1.3).
- e) Lands within or adjacent to Landfill Sites (Appendix 16.1.4).
- f) New or expanded livestock operations, and new development in proximity to existing livestock operations where Minimum Distance Separation formulae of the Province of Ontario may apply (Appendix 16.1.4).

SECTION 3 GENERAL PARKING PROVISIONS

3.1 Non-Complying Parking

Despite the provisions of this By-law any lawfully existing parking for a lawfully existing use prior to the date of passing of this By-law, shall be deemed to conform with the parking requirements of this By-law. Any expansion of parking and / or use shall comply with the provisions of this By-law.

3.2 Parking Location

3.2.1 Residential Uses

Required parking shall be provided on the same lot as the residential use requiring the parking.

3.2.2 Non-Residential Uses

Required parking shall be provided on the same lot as the non-residential use requiring the parking, or on a lot within 120 m that is not within a residential zone.

3.3 Parking Area

No person shall park, permit or cause to be parked a motor vehicle, recreation vehicle, boat, recreation trailer, or a utility trailer on a lot other than in a parking area that complies with the provisions of this By-law.

3.4 Parking Area Surface

Every parking area, loading space and driveway connecting a parking area to a road shall be maintained with a hard surface.

3.5 Encroachment into Yards

A parking space, bicycle parking space, or parking area is permitted within any yard but is not permitted to encroach into any required landscape buffer or landscape open space.

3.6 Parking Prohibitions

3.6.1 Motor Vehicle

No person shall in any Residential, Institutional, Green Space or Mixed Use Zone use any lot for parking or storage of any motor vehicle in excess of 3,600 kg gross vehicle weight unless the vehicle is a delivery vehicle temporarily parked in the course of its normal delivery duty.

This Section does not apply to recreation vehicles, boats, recreation trailers, utility trailers or emergency service vehicles.

3.6.2 Recreation Vehicle, Boat, Recreation Trailer, Utility Trailer

Recreation vehicles, boats, recreation trailers or utility trailers shall only be located in a parking area that is outside of the required front and / or required exterior side yard.

3.7 Parking Space Dimensions

	Min. Width (m)	Min. Depth (m)	Conditions
Standard Parking Space	2.6	5.2	-
Standard Parking Space Obstructed on Two Sides	3.5	5.2	abutting any wall, column or structure on both sides
Standard Space Obstructed on One Side	3.0	5.2	abutting any wall or column, or structure on one side
Accessible Space	5.2	5.2	-
Two (2) Accessible Spaces Side by Side	2.6 ea.	5.2	2.6 m common space between accessible spaces

3.8 Accessible Parking

Accessible parking spaces shall be provided at the following rate:

Number of Required Standard Parking Spaces	Number of Accessible Parking Spaces	Number of Required Standard Parking Spaces	Number of Accessible Parking Spaces
6 – 25	1	151 – 200	6
26 – 50	2	201 – 300	7
51 – 75	3	301 – 400	8
76 – 100	4	401 – 500	9
101 -150	5	501 and over	2% of the required parking

3.8.1 Accessible Parking Exemption

Any parking area with 5 or fewer required parking spaces, or any private road development is exempt from providing accessible parking.

3.9 Residential Parking

On a residential lot with 4 or fewer dwelling units the following provisions shall apply:

	Front Yard and / or Exterior Side Yard
Maximum Parking Area Coverage	50 %
Maximum Width	7.5 m or 50% of lot frontage, whichever is less

3.9.1 Overall Parking Area Coverage

In any Residential Zone, the parking area shall not exceed 20% of the total lot area.

3.10 Location of Loading Spaces

Loading spaces shall be located entirely on the same lot as the building for which such loading spaces are required, and shall not encroach into any required driveways, parking areas or internal roads. Loading spaces shall be located in an interior side yard or rear yard and no closer to any road than the building.

3.10.1 Loading Spaces Abutting a Residential Zone

No loading space shall be located within a required yard that abuts a Residential zone.

3.11 Calculation of Parking Requirement

The calculation of the minimum number of required parking spaces shall be rounded to the nearest whole number or if midpoint (i.e. 0.5), to the higher whole number.

3.12 Required Parking

All uses permitted by this By-law shall provide required parking spaces as set out in this Section. Tandem parking shall not be permitted, except where otherwise noted.

3.12.1 Residential Uses

Permitted Uses	Min. Parking Spaces Per Dwelling Unit
Apartment Building	1.25
Apartment Dwelling Unit within a Mixed Use Building ^(b)	1
Accessory Dwelling Unit – Interior ^(a)	1
Accessory Dwelling Unit – Detached	1
Bed and Breakfast	1 space per rental room
Dwelling, Detached	1
Dwelling, Duplex	1
Dwelling, Fourplex	1
Dwelling, Quadruplex	1
Dwelling, Semi-Detached	1
Dwelling, Triplex	1

Permitted Uses	Min. Parking Spaces Per Dwelling Unit
Long Term Care Facility	0.4 per dwelling unit and per care bed
Private Road Development	1.25
Townhouse	1

3.12.2 Non-Residential Uses

Permitted Uses	Min. 1 Parking Space Per ‘x’ m ² of gross leasable floor area or as otherwise noted	Max. 1 Parking Space Per ‘x’ m ² of gross leasable floor area or as otherwise noted
Adult Oriented Entertainment Establishment	20	-
Animal Care Establishment	20	-
Bulk Fuel Depot	100	-
Cultural Facility	65	-
Contractor’s Yard	100	-
Day Care	25	-
Golf Course and Driving Range	18 per 9 holes of golf plus 1 per 27 m ² of club house	-
Heavy Equipment Sales and Service	35	-
Hospital	50	-
Hotel / Motel	1 per guest room	-
Industry, Heavy	100	-
Industry, Light	100	-
Major Transit Station	20	-
Marina	.6 per boat slip	-
Motor Vehicle Gas Station	20	-
Motor Vehicle Repair Garage ^(a)	20	-
Motor Vehicle Sales / Rental and Service Centre	30	-
Nightclub	1 per 4 persons based on the maximum occupant load	-

Permitted Uses	Min. 1 Parking Space Per ‘x’ m ² of gross leasable floor area or as otherwise noted	Max. 1 Parking Space Per ‘x’ m ² of gross leasable floor area or as otherwise noted
Offices	28	-
Place of Assembly / Banquet Hall ^(c)	20	3
Place of Worship ^(c)	20	3
Recreation Facility ^(c)	20	-
Research Facility	100	-
Restaurant ^(c)	20	-
Retail Store	20	-
Service Commercial	20	-
Shopping Centre, less than or equal to 4,645 m ² glfa	20	-
Shopping Centre, greater than 4,645 m ² but less than 30,000 m ² glfa	37	20
Shopping Centre, equal to or greater than 30,000 m ² glfa	27	20
Theatre ^(c)	20	-
Transportation Depot	100	-

3.12.3 Footnotes for Section 3.12.1 and 3.12.2

- a) Permitted in tandem
- b) No parking space is required for the first 4 apartment dwelling units
- c) Applies only to portion of building dedicated to the assembly of persons.

3.13 Landscape Provisions for Parking Areas

3.13.1 Landscape Buffer Provisions

A landscape buffer shall be provided between the edge of any parking area and an abutting lot line(s) in accordance with the following table:

	Parking area with 5 to 20 parking spaces	Parking area with more than 20 parking spaces but fewer than 100	Parking area with 100 or greater parking spaces
Lot Line Abutting a Public Road	3 m	3 m	6 m
Lot Line Not Abutting a Public Road	-	3 m	3 m
Lot Line Abutting a Residential, Institutional or Green Space Zone	3 m	3 m	4 m

3.13.2 Minimum Landscaped Open Space Within Parking Areas

A minimum landscaped open space equal to 10% of the parking area shall be required within all parking areas with 100 or more parking spaces.

3.14 Drive-Thru Facility

A drive-thru facility shall be subject to the following provisions:

- a) A minimum 3 m wide landscape buffer shall be provided between a drive-thru facility and a public road; and
- b) Shall be located no closer than 7.5 m to a Residential, Institutional or Green Space zone.

3.14.1 Drive-Thru Facility Stacking Lanes

The minimum number of stacking lane parking spaces for drive-thru facilities shall be:

Use	Minimum number of stacking lane tandem parking spaces
Restaurant	10 spaces
All other uses	3 spaces

3.15 Bicycle Parking Spaces

- a) Despite Section 3.2.2, bicycle parking spaces must be located on the same lot as the use for which it is provided; and
- b) Each bicycle parking space shall be a minimum 1.8 m in length and 0.3 m in width; and
- c) Shall be located at a principal entrance of a building.

3.15.1 Required Bicycle Parking

Use	Minimum Number of Bicycle Parking Spaces
Apartment Building with 10 or more dwelling units	6 spaces plus 1 for every additional 10 dwelling units above 20
Place of Assembly / Banquet Hall, Recreation Facility, Place of Worship ^(a)	1 space per 1000 m ² glfa
School – Elementary/Secondary	1 space per classroom
Retail and Service Commercial	1 space per 1000 m ² glfa
Office	1 space per 1000 m ² glfa
Shopping Centre	1 space per 1000 m ² glfa
Major Transit Station	20 spaces
Hospital	6 spaces plus 1 space per 4000 m ² of glfa
Light Industry	1 space per 1000 m ² glfa
Heavy Industry	1 space per 1000 m ² glfa
Hotel / Motel	6 spaces plus 1 space per 10 guest rooms
Restaurant	1 space per 170 m ² glfa

3.15.2 Footnotes for Section 3.15.1

- a) Applies only to the portion of the building dedicated to the assembly of persons.

3.16 Stand Alone Parking Lot

Where permitted by Section 13 Special Provisions, a stand alone parking lot shall have a minimum lot frontage of 12 m and shall be subject to all other provisions of this By-law.

SECTION 4 ESTABLISHMENT OF ZONES

4.1 List of Zone Names and Symbols

The following zones are established and are referred to by name or by the symbol opposite the name as set out below:

Zone Symbol	Zone Name
R1	Low Density Residential - Suburban Neighbourhood
R2	Low Density Residential - Traditional Neighbourhood
R3	Medium Density Residential
R4	High Density Residential
C1	Local Convenience Commercial
C2	Community Commercial
C3	Arterial Commercial
C4	Major Commercial
C5	Downtown Commercial Core
C6	Downtown Traditional Main Street
E1	Business Commercial Employment
E2	General Employment
M1	Medium Density Mixed Use
M2	Medium/High Density Mixed Use
M3	High Density Mixed Use
G1	Conservation / Natural Area
G2	Minor Green Space
G3	Major Green Space
I1	Local Neighbourhood Institutional
I2	Community Institutional
I3	Major Institutional
A1	Agriculture
A2	Agriculture Only
A3	Agriculture Commercial / Industrial

Uses and regulations specific to each zone are set out in Sections 5 to 11.

PERMITTED USES	ZONES																			
Concession Stand																				
Contractor's Yard																				
Cultural Facility																				
Day Care																				
Accessory Dwelling Unit – Interior	R 1 ^(a)	R 2 ^(a)	R 3 ^(a)	R 4 ^(a)		C 1														
Dwelling Unit(s), Apartment						C 1														
Dwelling, Detached	R 1	R 2	R 3																	
Dwelling, Duplex		R 2	R 3																	
Dwelling, Fourplex		R 2	R 3	R 4																
Dwelling, Semi-Detached	R 1	R 2	R 3																	
Dwelling, Quadraplex	R 1	R 2	R 3	R 4																
Dwelling, Triplex		R 2	R 3	R 4																
Emergency Service Facility						C 2	C 3	C 4	C 5	C 6										
Employee Convenience Facilities																				
Essential Operations for Service Infrastructure and Utilities																				
Golf Course and Driving Range																				

PERMITTED USES	ZONES																		
Heavy Equipment Sales and Service																			
Help house																		A1 ^(a)	
Home Based Business	R1 ^(a)	R2 ^(a)	R3 ^(a)	R4 ^(a)	C1 ^(a)	C2 ^(a)	C4 ^(a)	C5 ^(a)	C6 ^(a)									A1 ^(a)	
Home Based Business - Kennel																		A1 ^(a)	
Home Industry																		A1 ^(a)	
Hospital								C5										I3	
Hotel / Motel							C3	C4	C5	C6	E1								
Industry, Heavy																			
Industry, Light											E1								
Long-Term Care Facility			R3	R4				C5									I1	I2	I3
Maintenance / Utility Building / Administration Office / Greenhouse Associated with Park Operation															G2 ^(a)	G3 ^(a)			
Major Transit Station								C5											
Marina																		G3	
Motor Vehicle Gas Station					C1	C2	C3	C4			E1								
Motor Vehicle Repair Garage						C2	C3	C4			E1								

PERMITTED USES	ZONES																								
Motor Vehicle Sales / Rental Service Centre																									
Nightclub																									
Off Leash Dog Park																									
Office																									
Petting Zoo																									
Picnic Area and Shelter																									
Place of Assembly / Banquet Hall																									
Place of Worship																									
Playground	R1 ^(a)	R2 ^(a)	R3 ^(a)	R4 ^(a)	C1 ^(a)	C2 ^(a)	C3 ^(a)	C4 ^(a)	C5 ^(a)	C6 ^(a)	E1 ^(a)	E2 ^(a)	M1 ^(a)	M2 ^(a)	M3 ^(a)		G2 ^(a)	G3 ^(a)	I1 ^(a)	I2 ^(a)	I3 ^(a)	A1 ^(a)	A2 ^(a)	A3 ^(a)	
Private Road Development	R1	R2	R3	R4									M1	M2	M3				I1	I2					
Recreation Facility, Indoor					C1	C2	C3	C4	C5	C6	E1 ^(a)	E2 ^(a)	M1	M2	M3			G3	I1	I2	I3				
Recreation Facility, Outdoor																	G2	G3	I1	I2	I3				
Research Facility											E1	E2													
Residential Convenience Uses			R3 ^(a)	R4 ^(a)																					
Restaurant					C1	C2	C3	C4	C5	C6	E1 ^(a)	E2 ^(a)	M1	M2	M3										
Retail Store					C1	C2	C3	C4	C5	C6	E1 ^(a)	E2 ^(a)	M1	M2	M3										

PERMITTED USES	ZONES																							
School, Elementary																								
School, Secondary																								
Service Commercial																								
Social Service Facility																								
Spectator Seating																								
Theatre																								
Townhouse	R1	R2	R3	R4																				
Trails	R1	R2	R3	R4	C1	C2	C3	C4	C5	C6	E1	E2	M1	M2	M3	G1	G2	G3	I1	I2	I3	A1	A2	A3
Transportation Depot												E2												
University / College						C2	C3	C4	C5	C6			M1	M2	M3						I3			
Washroom Facility / Change Room																	G2 ^(a)	G3 ^(a)						
Winery																						A1 ^(a)	A2 ^(a)	

4.2.1 Footnote to Section 4.2 Uses and Zones

a) Only permitted as an accessory use.

4.3 Special Provisions

Where special provisions are established for certain lots, the applicable regulations of the special provisions apply in addition to, or as an exception to, the normal zone provisions that apply to the subject lot(s).

Where on Schedule A to this By-law, a zone symbol (such as R1) applying to a lot contains a suffix at the end of the zone symbol consisting of a dash and number (e.g. R1-1), this indicates that a special provision applies to the subject lot. The number after the dash corresponds with the special provision number as set out in Section 13. There may be more than one number and, hence, special provision, that applies to certain lots (such as R1-1-14 and thus Special Provision 1 and 14 would apply).

4.4 Holding (H) Provisions

Where a zone symbol contains the suffix 'H' with or without a special provision (for example R4-H1 or R4-1-H1) the zoning shall not take effect until the prescribed conditions are met and the '(H)' is removed from the subject lot.

When the amending by-law removing the 'H' Holding symbol from a zone is enacted, the permitted uses and regulations for that lot shall apply.

Until such time as the prescribed conditions are met the identified lot shall only be used for the existing permitted use as of the date of this By-law including the expansion of the existing permitted use, or other uses as set out in the Holding provision(s).

Lots with Holding provisions, including the conditions required to be satisfied prior to the removal of Holding (H) Zone symbol, are identified in Section 14.

SECTION 5 RESIDENTIAL

No person shall use any lot or erect, alter or use any building or structure in any Residential Zone except in accordance with Sections 5.1 to 5.7 of this By-law.

In addition to the above, any lot may be subject to additional regulation or restriction of use by the City, upper tier government or agencies. Refer to Section 1.1.3 and Section 2.19 of this By-law.

5.1 Zone Names and Symbols

Zone Symbol	Zone Name
R1	Low Density Residential – Suburban Neighbourhood
R2	Low Density Residential – Traditional Neighbourhood
R3	Medium Density Residential
R4	High Density Residential

5.2 Permitted Uses

USES	Zones			
Dwelling, Detached	R1	R2	R3	
Dwelling, Semi-detached	R1	R2	R3	
Dwelling, Duplex		R2	R3	
Dwelling, Triplex		R2	R3	R4
Dwelling, Fourplex		R2	R3	R4
Dwelling, Quadruplex	R1	R2	R3	R4
Townhouse	R1	R2	R3	R4
Private Road Development	R1	R2	R3	R4
Apartment Building ^(a)			R3	R4
Long-Term Care Facility ^(a)			R3	R4

5.2.1 Footnotes for Section 5.2 Permitted Uses

- a) Residential Convenience Uses shall be permitted subject to the following provisions:
 - i) No individual use shall exceed 300 m² glfa; and
 - ii) The combined maximum glfa of all uses shall not exceed 3% of the total residential gross floor area on the premises.

5.3 Provisions for Residential (R1) ZONE

Permitted Uses	Lot Area per Dwelling Unit ^(d)		Min. Lot Frontage ^(d)	Minimum Yards				Max. Building Height	Max. No. of Attached Dwelling Units ^(d)	Density Per Hectare ^(d)	Min. Landscaped Open Space
	Min.	Max.		Front Yard	Rear Yard	Interior Side Yard	Exterior Side Yard				
Dwelling, Detached	400 m ²	490 m ²	15 m	6 m to dwelling / 7 m to garage	7.5 m	1.2 m	4 m	11 m	-	-	25%
Dwelling, Semi-detached	370 m ²	465 m ²	11m ^(a)	6 m to dwelling / 7 m to garage	7.5 m	1.2 m ^(c)	4 m	11 m	-	-	25%
Dwelling, Quadruplex	350 m ²	465 m ²	11m ^(a)	6 m to dwelling / 7 m to garage	7.5 m ^(c)	1.2 m ^(c)	4 m	11 m	-	-	25%
Townhouse	315 m ²	-	8 m ^(a)	6 m to dwelling / 7 m to garage	7.5 m	1.2 m ^(c)	4 m	11 m	4	Min. = 20 units	25%
Private Road Development ^(b)	315 m ²	-	12 m	6 m to dwelling / 7 m to garage	See Section 5.7		4 m	11 m	4	Min. = 20 units	25%

5.3.1 Footnotes for Section 5.3 Provisions for Residential (R1) Zone

- (a) Minimum lot frontage shall be per dwelling unit
- (b) Private Road Development shall permit all dwelling types that are permitted in the Low Density Residential – Suburban Residential (R1) Zone.
- (c) Common walls shall be centred on the common lot line. (See Section 2.4)
- (d) Accessory dwelling units shall not be included in the calculation of lot area, lot frontage, or density, nor shall accessory dwelling units be included in the maximum number of attached dwelling units.

5.4 Provisions for Residential (R2) ZONE

Permitted Uses	Lot Area per Dwelling Unit ^(e)		Min. Lot Frontage ^(e)	Minimum Yards				Max. Building Height	Max. No. of Attached Dwelling Units ^(e)	Density Per Hectare ^(e)	Min. Landscaped Open Space
	Min.	Max.		Front Yard	Rear Yard	Interior Side Yard	Exterior Side Yard				
Dwelling, Detached	300 m ²	465 m ²	9 m	3 m to dwelling / 6 m to garage	6 m	1.2 m	3 m	11 m	-	-	25%
Dwelling, Semi-detached	280 m ²	465 m ²	7.5 m ^(a)	3 m to dwelling / 6 m to garage	6 m	1.2 m ^(c)	3 m	11 m	-	-	25%
Dwelling, Duplex	280 m ²	465 m ²	12 m	3 m to dwelling / 6 m to garage	6 m	1.2 m	3 m	11 m	-	-	25%
Dwelling, Triplex	280 m ²	465 m ²	16 m	3 m to dwelling / 6 m to garage	6 m	1.2 m	3 m	11 m	-	-	25%
Dwelling, Fourplex	280 m ²	465 m ²	18 m	3 m to dwelling / 6 m to garage	6 m	1.2 m	3 m	11 m	-	-	25%
Dwelling, Quadraplex	280 m ²	465 m ²	7 m ^(a)	3 m to dwelling / 6 m to garage	6 m ^(c)	1.2 m ^(c)	3 m	11 m	-	-	25%
Townhouse	280 m ²	-	6 m ^(a)	3 m to dwelling / 6 m to garage	6 m	1.2 m ^(c)	3 m	11 m	4	Min. 20 units	25%
Private Road Development ^(b)	280 m ²	-	12 m	3 m to dwelling / 6 m to garage	See Section 5.7		3 m	11 m	4	Min. 20 units	25%

5.4.1 Footnotes for Section 5.4 Provisions for Residential (R2) Zone

- (a) Minimum lot frontage shall be per dwelling unit
- (b) Private Road Development shall permit all dwelling types that are permitted in the Low Density Residential – Traditional Neighbourhood (R2) Zone.
- (c) Common walls shall be centred on the common lot line. (see Section 2.4)
- (d) Per ground floor unit
- (e) Accessory dwelling units shall not be included in the calculation of lot area, lot frontage, or density, nor shall accessory dwelling units be included in the maximum number of attached dwelling units.

5.5 Provisions for Residential (R3) ZONE

Permitted Uses	Lot Area per Dwelling Unit ^(d)		Min. Lot Frontage ^(d)	Minimum Yards				Max. Building Height	Max. No. of Attached Dwelling Units ^(d)	Density Per Hectare ^(d)	Min. Landscaped Open Space
	Min.	Max.		Front Yard	Rear Yard	Interior Side Yard	Exterior Side Yard				
Dwelling, Detached	275 m ²	370 m ²	9 m	3 m to dwelling /6 m to garage	6 m	1.2 m	3 m	11 m	-	-	25%
Dwelling, Semi-Detached	200 m ²	350 m ²	7.5 m ^(b)	3 m to dwelling /6 m to garage	6 m	1.2 m ^(e)	3 m	11 m	-	-	25%
Dwelling, Duplex	140 m ²	350 m ²	12 m	3 m to dwelling /6 m to garage	6 m	1.2 m	3 m	11 m	-	-	25%
Dwelling, Triplex	140 m ²	350 m ²	16 m	3 m to dwelling /6 m to garage	6 m	1.2 m	3 m	11 m	-	-	25%
Dwelling, Quadraplex	140 m ²	350 m ²	6 m ^(b)	3 m to dwelling /6 m to garage	6 m ^(e)	1.2 m ^(e)	3 m	11 m	-	-	25%
Dwelling, Fourplex	140 m ²	350 m ²	18 m	3 m to dwelling /6 m to garage	6 m	1.2 m	3 m	11 m	-	-	25%
Townhouse	165 m ²	350 m ²	6 m ^(b)	3 m to dwelling /6 m to garage	6 m	1.2 m ^(e)	3 m	11 m	6	-	25%
Private Road Development ^(a)	-	-	12 m	3 m to dwelling / 6 m to garage	See Section 5.7		3 m	11 m	8	Min. 25 units Max. 99 units	25%

Permitted Uses	Lot Area per Dwelling Unit ^(d)		Min. Lot Frontage ^(d)	Minimum Yards				Max. Building Height	Max. No. of Attached Dwelling Units ^(d)	Density Per Hectare ^(d)	Min. Landscaped Open Space
	Min.	Max.		Front Yard	Rear Yard	Interior Side Yard	Exterior Side Yard				
Apartment Building / Long Term Care Facility on a Local / Collector Road	-	-	30 m	5 m	height of building	3 m	3 m	16 m	-	Min. 25 units Max. 99 units	25%
Apartment Building / Long Term Care Facility on an Arterial Road	-	-	30m	5m for portion of building less than 16 m in height / 7m for portion of building 16 m in height or greater	height of building	3 m for portion of building less than 16 m in height / 6 m for portion of building 16 m in height or greater	5 m for portion of building less than 16 m in height / 7 m for portion of building 16 m in height or greater	20 m	-	Min. 25 units / Max. 99 units	20%

5.5.1 Footnotes for Section 5.5 Provisions for Residential (R3) Zone

- (a) Private Road Development shall permit all dwelling types that are permitted in the Medium Density Residential (R3) Zone
- (b) Minimum lot frontage shall be per dwelling unit
- (c) Per ground floor dwelling unit
- (d) Accessory dwelling units shall not be included in the calculation of lot area, lot frontage, or density, nor shall accessory dwelling units be included in the maximum number of attached dwelling units.
- (e) Common walls shall be centred on the common lot line (see Section 2.4)

5.6 Provisions for Residential (R4) Zone

Permitted Uses	Min. Lot Frontage	Minimum Yards				Max. Building Height	Max. No. of Attached Dwelling Units	Min. Density Per Hectare	Min. Landscaped Open Space
		Front Yard	Rear Yard	Interior Side Yard	Exterior Side Yard				
Dwelling, Triplex	16 m	3 m to dwelling / 6 m to garage	6 m	1.2 m	3 m	11 m	-	85 Units	25%
Dwelling, Fourplex	18 m	3 m to dwelling / 6 m to garage	6 m	1.2 m	3 m	11 m	-	85 Units	25%
Dwelling, Quadruplex	6 m ^(b)	3 m to dwelling / 6 m to garage	6 m ^(d)	1.2 m ^(d)	3 m	11 m	-	85 Units	25%
Townhouse	6 m ^(b) ^(e)	3 m to dwelling / 6 m to garage	6 m	1.2 m ^(d)	3 m	11 m	6 ^(e)	85 Units ^(e)	25%
Private Road Development ^(a)	12 m	3 m to dwelling / 6 m to garage	see Section 5.7		3 m	11 m	8	85 Units	25%
Apartment Building / Long Term Care Facility	30 m	3 m for portion of building less than 14 m in height / 5 m for portion of building 14 m in height or greater	4.5 m for portion of building up to 14 m in height / additional 0.5 m for each additional 1m of building height	3 m for portion of building up to 14 m in height / additional 0.5 m for each additional 1m of building height	3 m for portion of building less than 14 m in height / 5 m for portion of building 14 m in height or greater	-	-	85 Units	40%

5.6.1 Footnotes for Section 5.6 Provisions for Residential (R4) Zone

- (a) Private Road Development shall permit all dwelling types that are permitted in the High Density Residential (R4) Zone.
- (b) Minimum lot frontage shall be per dwelling unit.
- (c) Per ground floor dwelling unit.
- (d) Common Walls shall be centred on the common lot line (see Section 2.4)
- (e) Accessory dwelling units shall not be included in the calculation of lot frontage or density, nor shall accessory dwelling units be included in the maximum number of attached dwelling units.

5.7 Additional Private Road Development Provisions

On Private Road Developments, all dwellings except apartment buildings and long term care facilities shall be subject to the following additional requirements. Apartment buildings and long term care facilities in Private Road Developments in the R3 or R4 Zone are subject to the applicable regulations for apartment buildings and long term care facilities as set out in Section 5.5 or 5.6.

Minimum Yard Requirements							
Interior Side Yard		Rear Yard		Between Buildings		Min. Distance From Private Road	

SECTION 6 COMMERCIAL

No person shall use any lot or construct, alter or use any building or structure in any Commercial Zone except in accordance with Sections 6.1 to 6.5.1 of this By-law.

In addition to the above, any lot may be subject to additional regulation or restriction of use by the City, upper tier government or agencies. Refer to Section 1.1.3 and Section 2.19 of this By-law.

6.1 Zone Names and Symbols

Zone Symbol	Zone Name
C1	Local Convenience Commercial
C2	Community Commercial
C3	Arterial Commercial
C4	Major Commercial
C5	Downtown Commercial Core
C6	Downtown Traditional Main Street

6.2 Permitted Uses

USES	Zones					
Animal Care Establishment	C1	C2	C3	C4	C5	C6
Apartment Building		C2 ^(b)		C4 ^(b)	C5	C6 ^(g)
Car Wash		C2	C3	C4		
Commercial Parking Structure		C2 ^(h)	C3	C4 ^(h)	C5 ^(a)	C6 ^(a)
Cultural Facility	C1	C2 ^(h)	C3	C4 ^(h)	C5	C6
Day Care	C1	C2	C3	C4	C5	C6
Apartment Dwelling Unit(s)	C1 ^(d)	C2 ^(d)		C4 ^(d)	C5	C6 ^(d)
Emergency Service Facility		C2	C3	C4 ^(h)	C5	C6
Hospital					C5	
Hotel / Motel			C3	C4 ^(h)	C5	C6
Long Term Care Facility					C5	
Major Transit Station					C5	
Motor Vehicle Gas Station	C1 ^(c)	C2 ^(c)	C3	C4 ^(c)		
Motor Vehicle Repair Garage		C2 ^(c)	C3	C4 ^(c)		
Motor Vehicle Sales / Rental Service Centre			C3			

USES	Zones					
Nightclub			C3	C4	C5	C6
Office	C1	C2 ^(h)	C3 ^(e)	C4 ^(h)	C5	C6
Place of Assembly / Banquet Hall		C2 ^(h)	C3	C4 ^(h)	C5	C6
Place of Worship	C1	C2 ^(h)	C3	C4 ^(h)	C5	C6
Recreation Facility, Indoor	C1	C2	C3	C4	C5	C6
Restaurant	C1	C2	C3	C4	C5	C6
Retail Store	C1	C2	C3	C4	C5 ^(f)	C6 ^(f)
Service Commercial	C1	C2	C3	C4	C5 ^(f)	C6 ^(f)
Social Service Facility	C1	C2 ^(h)	C3	C4 ^(h)	C5	C6
Theatre		C2 ^(h)	C3	C4 ^(h)	C5	C6
University / College		C2 ^(h)	C3	C4 ^(h)	C5	C6

6.2.1 Footnotes for Section 6.2 Permitted Uses

- a) Only permitted above or below the first storey.
- b) Must be located on the same lot as commercial uses, to a maximum 15% lot coverage.
- c) Motor vehicle sales / rental service centres are not permitted.
- d) Dwelling units are only permitted above, to the rear and/or below non-residential uses.
- e) Only permitted with other uses to a maximum 10% of total site glfa.
- f) Also permitted in upper storeys if in conjunction with a first floor non-residential use.
- g) Apartment buildings only permitted north of Carlisle Street.
- h) Constitutes a non-commercial use.

6.3 General Provisions

6.3.1 Temporary Outdoor Display and Seasonal Sale Area

- a) Shall comply with the yard provisions set out in Section 6.4;
- b) Are not included in glfa for calculation of parking requirements; and
- c) For the purposes of this Section, temporary shall mean a period of time not to exceed 120 days in a calendar year.

6.3.2 Outdoor Storage

Outdoor storage is not permitted in any Commercial Zone, except for Motor Vehicle Sales / Rental Service Centres.

6.4 Provisions for Commercial (C1) to (C4) Zones

Zone	Max. Lot Area	Max. Non-residential glfa	Max. Percentage of Total glfa for Non-commercial uses ^(d)	Min. Yard Abutting a Residential Zone	Min. Exterior Side Yard	Max. Exterior Side Yard	Min. Front Yard	Max. Front Yard	Max. Building Height	Min. Landscape Buffer Abutting a Residential Zone
C1	4000 m ²	930 m ² (a)(b)	-	7.5 m	3 m	24 m	3 m	24 m	14 m	3 m
C2	-	5000 m ² (c)	40%	7.5 m or ½ height of the building whichever is greater	3 m	24 m	3 m	24 m	-	3 m
C3	-	-	-	7.5 m or ½ height of the building whichever is greater	3 m	24 m	3 m	24 m	-	4 m
C4	-	-	30%	7.5 m or ½ height of the building whichever is greater	3 m	24 m	3 m	24 m	-	4 m

6.4.1 Footnotes for Section 6.4 Provisions for Commercial (C1) to (C4) Zones

- a) Maximum 370 m² glfa per individual non-residential use
- b) Where non-residential glfa exceeds 370 m² , apartment dwelling units shall be provided on the same lot at a density range of between 20 and 32 dwelling units per hectare.
- c) Limit per use.
- d) Non-commercial uses are set out under Section 6.2.

6.5 Provisions for Commercial (C5) and (C6) Zones

	Min. Lot Frontage	Min. Front Building Façade Width ^(c)	Min. Exterior Side Building Façade Width ^(c)	Min. Ground Floor Street-Facing Building Façade Devoted to Openings ^(c)	Max. Front Yard or Exterior Side Yard	Min. Building Height ^(d)	Max. Building Height
C5	6.0 m	80% of lot frontage	60% of lot depth	50% surface area	3.0 m ^(b)	7.5 m	-
C6	5.0 m	90% of lot frontage	70% of lot depth	60% surface area	1.5 m	7.5 m	11.0 m ^(a)

6.5.1 Footnotes for Section 6.5 Provisions for Commercial (C5) and (C6) Zones

- a) Above 11 m in building height, 1 m of additional building height shall be permitted for each 1 m of building setback from the ground floor exterior and/or front building façade.
- b) The front yard or the exterior side yard may be enlarged up to an additional 5 m where the entire front yard or exterior side yard is used for publicly-accessible open space in the form of a plaza or courtyard, and which does not include parking, loading spaces(s) or lay-by lane.
- c) Does not apply to building facades facing the following public roads in existence and so named at the time of passage of this By-law: Ontario Lane, May Alley, Helliwell Lane, Summer Street, Market Street, McGuire Street, Garden Park, Court Alley and The Parkway.
- d) Minimum two storeys above grade.

SECTION 7 Employment

No person shall use any lot or construct, alter or use any building or structure in any Employment Zone except in accordance with Section 7.1 to 7.4 of this By-law.

In addition to the above, any lot may be subject to additional regulation or restriction of use by the City, upper tier government or agencies. Refer to Section 1.1.3 and Section 2.19 of this By-law.

7.1 Zone Names and Symbols

Zone Symbol	Zone Name
E1	Business Commercial Employment
E2	General Employment

7.2 Permitted Uses

PRINCIPAL USES	ZONES	
Adult Oriented Entertainment Establishment	E1	E2
Bulk Fuel Depot		E2
Car Wash	E1	E2
Contractor's Yard		E2
Heavy Equipment Sales and Service		E2
Hotel/Motel	E1	
Industry, Heavy		E2
Industry, Light	E1	E2
Motor Vehicle Gas Station	E1	E2
Motor Vehicle Repair Garage	E1	E2
Office	E1 ^(a)	
Place of Assembly / Banquet Hall	E1	
Research Facility	E1	E2
Social Service Facility	E1	
Transportation Depot		E2

ACCESSORY USES	ZONES	
Animal Care Establishment	E1	E2
Office		E2
Recreation Facility, Indoor	E1	E2
Retail Store	E1	E2
Restaurant	E1	E2
Service Commercial	E1	E2

7.2.1 Footnotes for Section 7.2 Permitted Uses

- a) Office is permitted to a maximum 10,000 sq m glfa

7.3 General Provisions

7.3.1 Accessory Uses

- a) In a Business Commercial Employment (E1) zone the total glfa of all accessory uses shall not exceed 30% of the total glfa of the principal use(s) on the lot.
- b) In a General Employment (E2) zone the total glfa of all accessory uses shall not exceed 15% of the total glfa of the principal use(s) on the lot.

7.3.2 Ancillary Uses

7.3.2.1 Retail Sales/Display of Products

The retail sale and/or display of products manufactured or assembled on the premises shall be permitted subject to the following:

- a) In the General Employment (E2) Zone to a maximum of 15% of the total glfa of any industrial or office use.
- b) In the Business Commercial Employment (E1) Zone a maximum of 35% of the total glfa of any industrial use.
- c) In the Business Commercial Employment (E1) Zone a maximum of 15% of the total glfa of any office use.

7.3.2.2 Employee Convenience Facilities

Employee Convenience Facilities shall be:

- a) Part of the main building;
- b) For the exclusive use of employees; and
- c) Limited to 5% of the total glfa of the building(s) for all employee convenience facilities combined.

7.3.4 Adult Oriented Entertainment Establishment

Adult Oriented Entertainment Establishments are not permitted on any lot:

- a) Within 150 m of any Residential Zones, Mixed Use Zones, Institutional Zones, Green Space Zones, the Downtown Commercial Core (C5) Zone, or the Downtown Traditional Main Street (C6) Zone;

- b) Within 150 m of the municipal boundary;
- c) Within 150 m of Glendale Avenue, Queenston Street, Welland Canals Parkway, Lakeshore Road, Fourth Avenue, and St. Paul Street West; and
- d) Within 1000 m of another Adult Oriented Entertainment Establishment.

7.3.5 Street Facing Façades

Exterior walls facing a public road shall not be constructed of concrete blocks unless the blocks are decorative masonry units; or used in a decorative pattern or surfaced with stucco; or with a permanent coloured finish which does not include paint.

7.3.6 Front Yard and Exterior Side Yard Parking Areas

In addition to the General Parking Provisions set out in Section 3 of this By-law all parking areas in the front yard and/or the exterior side yard shall be:

- a) Paved with concrete or asphalt;
- b) Defined by poured concrete curbing; and
- c) Clearly marked with pavement markings for each parking space.

7.3.7 Vehicle Wash Bays

Vehicle wash bays, other than those located entirely within an enclosed building are not permitted in a yard abutting a Residential Zone, Institutional Zone, or Mixed Use Zone.

7.3.8 Outdoor Storage and Outdoor Processing

Outdoor storage and outdoor processing is subject to the provisions outlined in Section 2.9 of this By-Law and the following:

- a) Outdoor storage and outdoor processing is not permitted in any yard that abuts a Provincial 400 series Highway or an arterial or collector road as shown on Appendix 16.1.1.
- b) No outdoor scrap yard, recycling storage yard, or outdoor processing shall be located closer than 150 m to any Residential, Mixed Use, Institutional or Green Space zone.
- c) In Business Commercial Employment Zones (E1) the total of all outdoor storage yards cannot occupy more than 10 % of the total glfa on a lot.
- d) No outdoor processing is permitted in the Business Commercial Employment (E1) zones.

7.4 Provisions for Employment (E1) and (E2) Zones

Zone	Min. Lot Area	Min. Lot Frontage	Min. Yard Abutting Residential, Institutional, Green Space or Mixed Use Zone	Min. Exterior Side Yard/ Front Yard	Min. Width of Landscape Buffer along Street Frontage	Min. Width of Landscape Buffer Abutting a Residential, Institutional, Green Space or Mixed Use Zone
E1	2000 m ²	30 m	15 m	12 m	6 m	7.5 m
E2	4000 m ²	60 m	15 m	12 m	3 m	7.5 m

SECTION 8 MIXED USE

No person shall use any lot or construct, alter or use any building or structure in any Mixed Use Zone, except in accordance with Section 8.1 to 8.8 of this By-law.

In addition to the above, any lot may be subject to additional regulation or restriction of use by the City, upper tier government or agencies. Refer to Section 1.1.3 and Section 2.19 of this By-law.

8.1 Zone Names and Symbols

Zone Symbol	Zone Name
M1	Medium Density Mixed Use
M2	Medium / High Density Mixed Use
M3	High Density Mixed Use

8.2 Permitted Uses

Uses	Zone		
Animal Care Establishment	M1	M2 ^(d)	M3 ^(d)
Apartment Building	M1	M2	M3
Car Wash	M1 ^{(e) (f)}		
Cultural Facility	M1	M2 ^(g)	M3 ^(g)
Day Care	M1	M2 ^(d)	M3 ^(d)
Dwelling Unit, Apartment	M1	M2	M3
Dwelling, Detached		M2	
Dwelling, Duplex		M2	
Dwelling, Fourplex	M1	M2	M3
Dwelling, Quadruplex		M2	
Dwelling, Semi-Detached		M2	
Dwelling, Triplex	M1	M2	M3
Emergency Service Facility	M1	M2	M3
Hospital	M1	M2	M3
Hotel / Motel	M1	M2	M3
Long Term Care Facility	M1	M2	M3

Uses	Zone		
Office	M1	M2 ^(g)	M3 ^(g)
Motor Vehicle Gas Station	M1 ^(e)		
Motor Vehicle Repair Garage	M1 ^(e)		
Place of Assembly/Banquet Hall	M1	M2 ^(g)	M3 ^(g)
Place of Worship	M1	M2 ^(g)	M3 ^(g)
Private Road Development	M1	M2	M3
Recreation Facility, Indoor	M1	M2 ^(d)	M3 ^(d)
Restaurant	M1 ^(c)	M2 ^{(c) (d)}	M3 ^{(c) (d)}
Retail Store	M1 ^(b)	M2 ^(a)	M3 ^(a)
School, Elementary	M1	M2	M3
School, Secondary	M1	M2	M3
Service Commercial	M1 ^(c)	M2 ^{(c) (d)}	M3 ^{(c) (d)}
Social Service Facility	M1	M2 ^(g)	M3 ^(g)
Theatre	M1	M2 ^(d)	M3 ^(d)
Townhouse	M1	M2	M3
University/College	M1	M2	M3

8.2.1 Footnotes for Section 8.2 Permitted Uses:

- a) Use is only permitted on the first storey and in a building containing residential dwelling unit(s)
- b) Permitted only in first storey
- c) Permitted above the first storey only in conjunction with the same first storey use
- d) Permitted to a maximum 500 m² glfa. Does not apply to Funeral Homes
- e) Not permitted on the same lot with residential uses
- f) Open bay non-automated car washes shall not be permitted.
- g) Permitted to a maximum 1400 m² glfa.

8.3 Provisions for Stand Alone Residential Buildings in Mixed Use (M1) Zone

Permitted Uses	Lot Area per Dwelling Unit ^(e)		Min. Lot Frontage ^(e)	Yards				Max. No. of Attached Dwelling Units ^(e)	Max. Building Height	Min. Landscaped Open Space
	Min.	Max.		Min. Front Yard	Min. Rear Yard	Min. Interior Side Yard	Min. Exterior Side Yard			
Dwelling, Triplex	100 m ²	250 m ²	16 m	3 m to dwelling / 6 m to garage	6 m	1.2 m	3 m to dwelling / 6 m to garage	-	11 m	25%
Dwelling, Fourplex	100 m ²	250 m ²	18 m	3 m to dwelling / 6 m to garage	6 m	1.2 m	3 m to dwelling / 6 m to garage	-	11 m	25%
Townhouse	100 m ²	250 m ²	6 m ^(b)	3 m to dwelling / 6 m to garage	6 m	1.2 m ^(f)	3 m to dwelling / 6 m to garage	6	11 m	25%
Private Road Development ^(a)	100 m ²	250 m ²	12 m	3 m to dwelling / 6 m to garage	See Section 5.7		3 m	8	11 m	25%
Apartment Building / Long Term Care Facility	100 m ²	250 m ²	20 m	6 m	Height of building	3 m	6 m	-	20 m	20%

8.4 Provisions for Stand Alone Residential Buildings in Mixed Use (M2) Zone

Permitted Uses	Lot Area per ^(e) Dwelling Unit		Min. Lot Frontage ^(e)	Yards					Max. No. of Attached Dwelling Units ^(e)	Max. Building Height	Min. Amenity Space ^(d)
	Min.	Max.		Min. Front Yard	Max. Front Yard	Min. Rear Yard	Min. Interior Side Yard	Min. Exterior Side Yard			
Dwelling, Detached	-	165 m ²	8 m	3 m to dwelling / 6 m to garage	5 m to dwelling	1.2 m	1 m	3 m to dwelling / 6 m to garage	-	11 m	10%
Dwelling, Semi- Detached	100 m ²	165 m ²	6.5 m ^(b)	3 m to dwelling/6 m to garage	5 m to dwelling	1.2 m	1 m ^(f)	3 m to dwelling / 6 m to garage	-	11 m	10%
Dwelling, Duplex	100 m ²	165 m ²	8 m	3 m to dwelling / 6 m to garage	5 m to dwelling	1.2 m	1 m	3 m to dwelling / 6 m to garage	-	11 m	10%
Dwelling, Triplex	100 m ²	165 m ²	16 m	3 m to dwelling / 6 m to garage	5 m to dwelling	1.2 m	1 m	3 m to dwelling / 6 m to garage	-	11 m	10%
Dwelling, Fourplex	100 m ²	165 m ²	18 m	3 m to dwelling / 6 m to garage	5 m to dwelling	1.2 m	1 m	3 m to dwelling / 6 m to garage	-	11 m	10%
Dwelling, Quadruplex	100 m ²	165 m ²	6 m ^(b)	3 m to dwelling / 6 m to garage	5 m to dwelling	1.2 m ^(f)	1 m ^(f)	3 m to dwelling / 6 m to garage	-	11 m	10 %
Townhouse	100 m ²	165 m ²	6 m ^(b)	3 m to dwelling / 6 m to garage	5 m to dwelling	1.2 m	1 m ^(f)	3 m to dwelling / 6 m to garage	6	11 m	10%
Private Road Development ^(a)	100 m ²	165 m ²	12 m	3 m to dwelling / 6 m to garage	5 m to dwelling	See Section 5.7		3 m	8	11 m	-

Permitted Uses	Lot Area per Dwelling Unit ^(e)		Min. Lot Frontage ^(e)	Yards					Max. No. of Attached Dwelling Units ^(e)	Max. Building Height	Min. Amenity Space ^(d)
	Min.	Max.		Min. Front Yard	Max. Front Yard	Min. Rear Yard	Min. Interior Side Yard	Min. Exterior Side Yard			
Apartment Building / Long Term Care Facility	45 m ²	165 m ²	20 m	3 m for portion of building less than 14 m in height / 5 m for portion of building 14 m in height or greater	5 m to dwelling	4.5 m for portion of building up to 14 m in height / additional 0.5 m for each additional 1 m in building height	1.2 m	3 m for portion of building less than 14 m in height / 5 m for portion of building 14 m in height or greater	-	-	-

8.5 Provisions for Stand Alone Residential Buildings in Mixed Use (M3) Zone

Permitted Uses	Lot Area per Dwelling Unit ^(e)		Min. Lot Frontage ^(e)	Yards					Max. No of Attached Dwelling Units ^(e)	Max. Building Height	Min. Amenity Space ^(d)
	Min.	Max.		Min. Front Yard	Max. Front Yard	Min. Rear Yard	Min. Interior Side Yard	Min. Exterior Side Yard			
Dwelling, Triplex	75 m ²	115 m ²	16 m	3 m to dwelling / 6 m to garage	5 m to dwelling	1.2 m	1 m	3 m to dwelling / 6 m to garage	-	11 m	10%
Dwelling, Fourplex	75 m ²	115 m ²	18 m	3 m to dwelling / 6 m to garage	5 m to dwelling	1.2 m	1 m	3 m to dwelling / 6 m to garage	-	11 m	10%
Townhouse	75 m ²	115 m ²	6 m ^(b)	3 m to dwelling / 6 m to garage	5 m to dwelling	1.2 m	1 m ^(f)	3 m to dwelling / 6 m to garage	6	11 m	10%
Private Road Development ^(a)	75 m ²	115 m ²	12 m	3 m to dwelling / 6 m to garage	5 m to dwelling	See Section 5.7		3 m	8	11 m	
Apartment Building / Long Term Care Facility	-	115 m ²	20 m	3 m for portion of building less than 14 m in height / 5 m for portion of building 14 m in height or greater	5 m to dwelling	4.5 m for portion of building up to 14 m in height / additional 0.5 m for each additional 1 m in building height	1.2 m	3 m for portion of building less than 14 m in height / 5 m for portion of building 14 m in height or greater	-	-	-

8.6 Footnotes for Section 8.3, 8.4 and 8.5 Provisions for Stand Alone Residential Buildings in Mixed Use (M1), (M2) and (M3) Zones

- a) Private Road Development in the M1, M2 and M3 Zones shall permit the dwelling types permitted in the applicable zones.
- b) Minimum lot frontage shall be per dwelling unit.
- c) Per ground floor dwelling unit.
- d) A minimum amenity space, at or above grade shall be provided on each lot, at a total equal to or greater than 10% of the ground floor area of the building. Each amenity space shall have a dimension of not less than 1.5 m in width, and shall not be permitted to extend into any required yard.
- e) Accessory dwelling units shall not be included in the calculation of lot area or lot frontage, nor shall accessory dwelling units be included in the maximum number of attached dwelling units.
- f) Common walls shall be centred on the common lot line (See Section 2.4).

8.7 Provisions for Non-Residential Buildings and Mixed Use (Residential and Non-Residential) Buildings in the Mixed Use (M1), (M2), (M3) Zones

Zone	Max. Lot Area	Max. Lot Frontage	Yards							Max. Building Height	Min. Landscape Buffer Abutting a Residential Zone	Max. Total Non-Residential glfa on a lot	Max. Residential Density
			Front		Min. Interior Side	Exterior		Min. Rear	Min. Yard Abutting a Residential Zone				
M1	4000 m ²	30m	3 m	24 m	1.2 m	3 m	24 m	3 m	7.5 m or ½ height of the building, whichever is greater	20 m	3 m	1,860 m ² _{(a) (b)}	100 units / ha ^(c)
M2	4000 m ²	30 m	3 m for portion of building less than 14 m in height / 5 m for portion of building 14 m in height or greater	5 m	1.2 m	3 m for portion of building less than 14 m in height / 5 m for portion of building 14 m in height or greater	5 m	4.5 m for portion of building up to 14 m in height / additional 0.5 m for each additional 1 m in building height	7.5 m or ½ height of the building, whichever is greater	-	-	^(b)	198 units / ha ^(c)

Zone	Max. Lot Area	Max. Lot Frontage	Yards						Max. Building Height	Min. Landscape Buffer Abutting a Residential Zone	Max. Total Non-Residential glfa on a lot	Max. Residential Density	
			Front		Min. Interior Side	Exterior		Min. Rear					Min. Yard Abutting a Residential Zone
			Min.	Max.		Min.	Max.						
M3	4000 m ²	30 m	3 m for portion of building less than 14 m in height / 5 m for portion of building 14 m in height or greater	5 m	1.2 m	3 m for portion of building less than 14 m in height / 5 m for portion of building 14 m in height or greater	5 m	4.5 m for portion of building up to 14 m in height / additional 0.5 m for each additional 1 m in building height	7.5 m or ½ height of the building, whichever is greater	-	(b) (c)	--	

8.8 Footnotes for Section 8.7 Provisions for Non-Residential and Mixed Use (Residential and Non-Residential) Buildings in the Mixed Use (M1, (M2) and (M3) Zones

- a) i) where non-residential glfa is between 930 and 1395 m², residential dwelling units shall be provided on the same lot at a density range of between 20 and 35 units per hectare
- ii) where non-residential glfa is between 1396 and 1860 m², residential dwelling units shall be provided on the same lot at a density range of between 13 and 32 units per hectare
- b) i) in new mixed use buildings, or conversion of residential buildings to mixed use, the maximum combined non-residential glfa shall not exceed 50% of residential floor area on the lot, to a maximum 930 m² glfa.
- ii) Where non-residential buildings are converted to mixed use to add dwelling unit(s), the provisions for maximum combined non-residential glfa do not apply.
- c) Accessory dwelling units shall not be included in the calculation of density.

SECTION 9 GREEN SPACE

No person shall use any lot or construct, alter or use any building or structure in any Green Space Zone except in accordance with Section 9.1 to 9.3 of this By-law.

In addition to the above, any lot may be subject to additional regulation or restriction of use by the City, upper tier government or agencies. Refer to Section 1.1.3 and Section 2.19 of this By-law.

9.1 Zone Names and Symbols

Zone Symbol	Zone Name
G1	Conservation / Natural Area
G2	Minor Green Space (Neighbourhood Parks/Open Space)
G3	Major Green Space (District/City Wide Parks/ Major Open Space)

9.2 Permitted Uses

PRINCIPAL USES	G1	G2	G3
Boat Ramp	G1	G2	G3
Cemetery		G2	G3
Cultural Facility			G3
Essential Operations for Service Infrastructure and Utilities	G1 ^(a)	G2	G3
Golf Course / Driving Range			G3
Marina			G3
Off Leash Dog Park		G2	G3
Petting Zoo			G3
Picnic Area and Shelter	G1	G2	G3
Recreation Facility, Indoor			G3
Recreation Facility, Outdoor		G2	G3
Trail	G1	G2	G3

ACCESSORY USES			
Concession Stand		G2	G3
Maintenance / Utility Building / Administrative Office / Greenhouse Associated with Park Operation		G2	G3
Spectator Seating		G2	G3
Washroom Facility/Change Room		G2	G3

9.2.1 Footnotes for Section 9.2 Permitted Uses

- a) Only essential linear operations for service infrastructure and utilities are permitted

9.3 Provisions for Green Space (G1) to (G3) Zones

Zone	Max. Lot Coverage	Min. Front Yard	Min. Interior Side Yard	Min. Exterior Yard	Min. Rear Yard	Max. Building Height
G1	-	-	-	-	-	-
G2	10%	6 m	3 m	4.5 m	11 m	11 m
G3	25%	6 m	3 m	4.5 m	11 m	16 m

SECTION 10 INSTITUTIONAL

No person shall use any lot or construct, alter or use any building or structure in any Institutional Zone except in accordance with Section 10.1 to 10.3.1 of this By-law.

In addition to the above, any lot may be subject to additional regulation or restriction of use by the City, upper tier government or agencies. Refer to Section 1.1.3 and Section 2.19 of this By-law.

10.1 Zone Names and Symbols

Zone Symbol	Zone Name
I1	Local Neighbourhood Institutional
I2	Community Institutional
I3	Major Institutional

10.2 Permitted Uses

USES	Zones		
Cultural Facility	I1	I2	I3
Day Care	I1	I2	I3
Emergency Service Facility	I1	I2	I3
Hospital			I3
Long Term Care Facility	I1	I2	I3
Uses Permitted in the Low Density Suburban Residential (R1) Zone	I1		
Uses Permitted in the Medium Density Residential (R3) Zone		I2	
Place of Assembly / Banquet Hall		I2	I3 ^(b)
Place of Worship	I1	I2	I3 ^(b)
Recreation Facility, Indoor	I1	I2	I3
Recreation Facility, Outdoor ^(a)	I1	I2	I3
School, Elementary	I1	I2	
School, Secondary	I1	I2	I3
Social Service Facility	I1	I2	I3
University/College			I3

10.2.1 Footnotes for Section 10.2 Permitted Uses

- a) Permitted only as an accessory use subject to the provisions of Section 10.3.
- b) Permitted only as an accessory use subject to the provisions of Section 10.3, and shall not be permitted in a freestanding building.

10.3 Provisions for Institutional (I1) to (I3) Zones

Zone	Lot Area	Min. Lot Frontage	Min. Landscaped Open Space	Min. Yard Abutting a Non-Residential Zone	Min. Yard Abutting a Residential Zone	Min. Front Yard	Min. Exterior Yard	Max. Building Height
I1 ^(a)	Max. 2.5 ha	20 m	25%	3 m	3 m or ½ height of building whichever is greater	6 m	6 m	14 m
I2 ^(b)	Max. 6.5 ha	20 m	25%	3 m	3 m or ½ height of building whichever is greater	6 m	6 m	20 m
I3	Min. 10 ha	50 m	25%	15 m	3 m or ½ height of building whichever is greater	6 m	6 m	-

10.3.1 Footnotes for Section 10.3 Provisions for Institutional (I1) to (I3) Zones

- a) Residential uses shall comply with the Low Density Suburban Residential (R1) uses and provisions of this By-law.
- b) Residential uses shall comply with the Medium Density Residential (R3) uses and provisions of this By-law.

SECTION 11 AGRICULTURE

No person shall use any lot or construct, alter or use any building or structure in any Agricultural Zone except in accordance with Sections 11.1 to 11.5 of this By-law.

In addition to the above, any lot may be subject to additional regulation or restriction of use by the City, upper tier government or agencies. Refer to Section 1.1.3 and Section 2.19 of this By-law.

11.1 Zone Names and Symbols

Zone Symbol	Zone Name
A1	Agriculture
A2	Agriculture Only
A3	Agriculture Commercial/Industrial

11.2 Permitted Uses

Principal Uses	Zones		
Agriculture Farm Related Commercial or Industrial ^(a)	A1		A3
Agriculture Farm	A1	A2	A3
Dwelling, Detached	A1		

Accessory Uses	Zones		
Agri-tourism/Value Added ^(b)	A1		
Help house ^(d)	A1		
Home Industry ^(e)	A1		
Winery ^(c)	A1	A2	

11.2.1 Footnotes for Section 11.2 Permitted Uses

- a) The maximum size of an agriculture farm related commercial or industrial building shall be 930 m² glfa.
- b) Agri-tourism/Value Added Uses

i. Agri-tourism/Value Added uses 93 m² glfa or less shall be permitted on all lots with an agriculture farm use. Agri-tourism/Value Added uses greater than 93 m² glfa shall be permitted only on lots with an agriculture farm use that are larger than 6 ha and to a maximum size of 464.5 m² glfa.

ii. Display and sales area of off-farm products may occupy a maximum of 1/3 of the total glfa devoted to commercial use of an Agri-tourism/Value Added use to a maximum of 93 m² glfa.
- c) Winery

- i. The minimum size of a lot with an agriculture farm use that contains a winery shall be 6 ha.
 - ii. The total of all Agri-tourism/Value Added uses associated with a winery shall not exceed 50% of the glfa of a winery on the same lot, up to a maximum of 464.5m² glfa.
 - iii. The total glfa of a winery shall not exceed 5% of the lot area.
- d) Help House
 - i. An agriculture farm 1.2 ha or greater in size that contains greenhouses may have one help house.
 - ii. The minimum lot area for all other agriculture farms where one help house is permitted shall be 10 ha.
- e) Home Industry
 - i. A home industry shall be limited to a maximum glfa of 75m².
 - ii. No more than 3 non-resident employees permitted in a home industry.
 - iii. Outdoor storage associated with a home industry is not permitted.

11.3 Provisions for Agriculture (A1) Zone

Permitted Uses	Min. Lot Area	Min. Lot Frontage	Minimum Yards				Max. Building Height	Max. Lot Coverage
			Front	Rear	Interior Side	Exterior Side		
Agriculture Farm	16.2 ha	60 m	15 m	15 m ^(a)	15 m ^(a)	15 m	15 m	20% ^(b)
Detached Dwelling	4,050 m ²	40 m	9 m	11 m	3 m	5 m	11 m	15% when not associated with an agricultural use
Building and Structures Accessory to Permitted Uses and/or Permitted Accessory Uses ^(c)	-	-	9 m ^(d)	2 m	2 m	5 m ^(d)	6 m	-

11.3.1 Footnotes for Section 11.3 Provisions for Agriculture (A1) Zone

- a) 25 m where greenhouse fans face an adjacent dwelling or help house.
- b) Maximum lot coverage provision does not apply to greenhouses.
- c) A help house shall be subject to the yard and height requirements for detached dwellings.
- d) A road-side produce stand shall be no closer than 3.0 m to the front or exterior lot line.

11.4 Provisions for Agriculture (A2) Zone

Permitted Uses	Min. Lot Frontage	Minimum Yards				Max. Building Height	Max. Lot Coverage
		Front	Rear	Interior Side	Exterior Side		
Agriculture Farm	60 m	15 m	15 m ^(a)	15 m ^(a)	15 m	15 m	20% ^(b)
Buildings and Structures Accessory to Permitted Farm Uses and/or Permitted Accessory Uses	-	9 m ^(c)	2 m	2 m	5 m ^(c)	6 m	-

11.4.1 Footnotes for Section 11.4 Provisions for Agriculture (A2) Zone

- a) 25 m where greenhouse fans face an adjacent dwelling or help house
- b) Maximum lot coverage provision does not apply to greenhouses.
- c) A road-side produce stand shall be no closer than 3.0 m to the front or exterior lot line.

11.5 Provisions for Agriculture (A3) Zone

Permitted Uses	Max. Lot Area	Min. Lot Frontage	Minimum Yards				Max. Building Height	Max. Lot Coverage
			Front	Rear	Interior Side	Exterior Side		
Agriculture Farm Related Commercial or Industrial	0.4 ha	30 m	12 m	7.5 m	6 m	12 m	14 m	25%
Buildings and Structures Accessory to Permitted Uses	-	-	9 m	2 m	2 m	5 m	6 m	-

SECTION 12 DEFINITIONS

Abutting: means two or more lots sharing a common boundary of at least one point; or a lot sharing a common boundary with a public road.

Accessory Structure: means a detached building, structure or pool that is incidental and secondary to the principal use(s) on the same lot.

Accessory Use: means a use subordinate and incidental to the principal use(s) on the same lot.

Adult Oriented Entertainment Establishment: means any indoor premises or part thereof in which is provided, in pursuance of a trade, calling, business or occupation or services appealing to or designed to appeal to erotic or sexual appetites or inclinations including strip clubs and body rub parlours. Establishments that retail adult oriented goods, or services which are provided by a provincially licenced registered professional such as a registered massage therapist are not included.

Agriculture Farm: means including but not limited to the following: the growing of crops, nursery, greenhouse and horticultural crops; raising and/or stabling of livestock and other animals for food, fibre, fur or recreation, including poultry and fish; aquaculture; apiaries; agro-forestry; maple syrup production; uses and practices necessary to support the day to day operation of the agriculture use and associated on farm buildings and structures including accommodation for full time farm labour when the size and nature of the operation requires additional employment.

Agriculture Farm Related Commercial or Industrial: means premises directly related to and serving agriculture uses, including but not limited to canneries, dairies and farm implement sales and service.

Agri-Tourism and Value Added Use: means farm based business activities that cater to the travelling public and agriculture tourism and which support, promote and sustain the viability of the agriculture operation. These uses are secondary and subordinate to the principal agriculture farm operation and include but are not limited to farm markets, restaurants related to a winery, road side produce stands, pick your own facilities, farm mazes, agriculture related special event facilities, agriculture education and research facilities, and do not include uses and practices that support the day to day agriculture farm operation or accessory uses.

Amenity Space: means an area for outdoor recreation or leisure, and does not include a parking area.

Animal Care Establishment: means any premises for the caring, grooming, and training of household pets without outdoor pens or exercise areas.

Apartment Building: means a building divided vertically and horizontally, or horizontally, into five or more dwelling units each with its own entrance either separately or from a common vestibule, stairway or hallway.

Attached Building: means a building which shares a roof or wall in common with an adjacent building or buildings.

Balcony: means a platform projecting from the facade of a wall or walls, cantilevered or supported by columns or brackets, located above the grade of the ceiling height of the first storey above the basement and may be covered.

Basement: means the portion of a building partly underground having more than one half its height below grade at the principal entrance.

Bed and Breakfast: means a home based business wherein rooms or beds are rented for a period not exceeding 28 consecutive days, and meals are served to overnight guests.

Boat Ramp: means a sloped surface designed for launching and retrieving watercraft to and from a body of water.

Body Rub Parlour: means premises used for services involving the kneading, manipulating, rubbing, massaging, touching or stimulating by any means of a person's body for the purpose of appealing to erotic or sexual appetites or inclinations.

Building: means any structure, used for the shelter of persons, animals, goods or equipment and having a roof which is supported by columns or walls.

Car Wash: means premises used for washing vehicles.

Cemetery: means premises used for the interment of the dead, and including but not limited to columbaria, mausoleums, crematoria and crypts.

Chord: means a straight line that joins the ends of an arc.

Common Wall: means a vertical wall separating two or more buildings from the base of the footing to the roof.

Community Garden: means an area of land managed and maintained by a group of individuals for the purpose of cultivation of plants for personal consumption.

Complying: means in keeping with the quantitative requirements of this By-law.

Conforming: means a use which is permitted by this By-Law in the zone category in which the use is located.

Cultural Facility: means premises used for the purposes of educational entertainment including but not limited to museums, libraries, art galleries and community centres, and may include ancillary office, restaurant, retail and service commercial uses.

Day Care: means premises used for caring for one or more persons for a portion of a day.

Deck: means a platform structure without a roof which may or may not be attached to one or more walls of a building but shall not include a landing or stairs.

Density: is the number of dwelling units on a lot divided by the net lot area expressed as hectares.

Drive-thru Facility: means a premises which includes stacking lanes and service areas which provides or dispenses products or services to persons remaining in motorized vehicles.

Dwelling, Detached: means a building containing one principal dwelling unit.

Dwelling, Duplex: means a building that is divided horizontally into two dwelling units each with an entrance either independent to the exterior or through a common vestibule.

Dwelling, Fourplex: means a building that is divided vertically and horizontally into four dwelling units each with an entrance either independent to the exterior or through a common vestibule.

Dwelling, Semi-Detached: means a building that is divided vertically into two principal dwelling units each with an independent entrance to the exterior.

Dwelling, Townhouse: means a building that is divided vertically into three or more principal dwelling units, each with an independent entrance to the exterior.

Dwelling, Quadruplex: means a building that is divided vertically into four dwelling units each with an independent entrance to the exterior.

Dwelling, Triplex: means a building that is divided vertically and horizontally, or horizontally, into three dwelling units in which each dwelling unit has an independent entrance to the exterior or through a common vestibule.

Dwelling Unit: means a self-contained housekeeping unit of one or more rooms containing cooking facilities, living quarters, sleeping quarters and sanitary facilities for the exclusive use of those residing within the dwelling unit, and which has an exclusive entrance.

Dwelling Unit, Apartment: means a dwelling unit in a mixed use building.

Dwelling Unit, Detached Accessory: means a separate building on a lot containing a dwelling unit which is subordinate and secondary to the principal dwelling unit located on the same lot.

Dwelling Unit, Interior Accessory: means a separate dwelling unit that is contained within the principal dwelling.

Emergency Service Facilities: means premises for the provision of fire, ambulance and/or police services.

Employee Convenience Facilities: means part of a premises providing uses for the convenience and health of employees such as tuck shops, cafeterias, day care, training, medical, recreational and fitness facilities.

Floor Area: means the area of all floors in a building or structure as calculated from the interior surface of the exterior walls, exclusive of cellars, basements, garages, carports or porches.

Funeral Home: means premises used for the care and preparation of human remains, excluding a crematoria, and may include related coordination and provision of rites and ceremonies so that persons may attend and pay their respects.

Grade: means the final elevation of the ground surface of a lot after completion of development or construction.

Greenhouse: means a building or structure used for the cultivation and propagation of plants.

Gross Floor Area (gfa): means the total of all floor areas of a building(s) or structure(s) measured from the interior wall surface of the exterior walls.

Gross Leasable Floor Area (glfa): means the total of all floor areas of a building(s) or structure(s) which is used for any permitted non-residential use measured from the interior surface of the exterior walls, including basements, but excluding the following:

- a) Any area not capable of being used for any permitted non-residential use which area may include, without restricting the generality of the foregoing, public washrooms, public corridors, utility rooms, utility and service corridors, loading areas, and parking areas provided in a building.
- b) Areas to which the public cannot nor does not have access to.
- c) Areas used for no other purpose than the storage of goods, fixtures and equipment.

Height: means the vertical distance of a building or structure from grade.

Help House: means a dwelling unit used for accommodation of persons employed in the operation of an agricultural farm use located on the same lot.

Home Based Business: means a use conducted within a dwelling unit which is secondary to the primary residential use of the dwelling unit.

Home Industry: means a use conducted by the residents of a dwelling unit wholly within an accessory building and which is secondary to the agricultural farm use located on the same lot.

Hotel / Motel: means a building(s) that provides temporary accommodation to the public for a period not exceeding 28 consecutive days, and may include independent cooking facilities and ancillary uses such as but not limited to restaurants, retail and service commercial uses, meeting and convention facilities, banquet facilities, recreation and entertainment facilities, and may also include one dwelling unit.

Industry, Heavy: means premises used for:

- a) the manufacture or processing of products from raw materials;
- b) the production or use of flammable, explosive or other hazardous materials;
- c) outdoor processing of products and materials;
- d) warehouse or storage

Industry, Light: means premises used for:

- a) the manufacture, processing, assembly, or packaging of finished parts or products from previously prepared materials;
- b) the repair or servicing of products.
- c) building supply storage and wholesale
- d) warehouse and storage

Light Industry does not include obnoxious, dangerous or offensive trades.

Infrastructure: means physical structures that form the foundation for development or resource use.

Kennel: means any premises where four or more dogs or cats are maintained, boarded, trained, bred or cared for in return for remuneration or kept for the purposes of sale.

Landscape Buffer: means an open area on a lot used exclusively for the growing and maintenance of grass, trees, shrubs and other horticultural elements and is not used for any other purpose except where a driveway and/or sidewalk cross the landscape buffer.

Landscaped Open Space: means a space used for the growth and maintenance of grass, flowers, shrubs, or similar landscape material and includes landscape buffers, walkways, patios, in ground swimming pools, playgrounds and similar facilities but excludes driveways, parking areas, ramps, and curbs.

Large Motor Vehicle: means a motor vehicle in excess of 3600 kg as registered with the Ministry of Transportation and shall also include but not limited to a tractor trailer used for hauling purposes, earth moving equipment, and tractors, truck or farm vehicles.

Loading Space: means an unobstructed open or covered area used to provide access to a loading door, platform or bay.

Long Term Care Facility: means a premises containing dwellings which provides care to meet the physical, emotional, social, spiritual and personal needs of persons. Long Term Care Facilities include Homes for the Aged established under the Homes for the Aged and Rest Homes Act, as amended; Nursing Homes licenced under the Nursing Home Act, as amended; and Chronic Care Facilities.

Lot: means a contiguous parcel of land under one ownership.

Lot Area: means the total horizontal area within the boundaries of a lot.

Lot Area, net: means the lot area excluding:

- i) lands to be conveyed for parkland dedication, public road widening, or public road(s);
- ii) lands within a Conservation/Natural Area (G1) zone;
- iii) lands subject to a minimum buffer requirement of an upper tier government or agency where the lands subject to the buffer requirement cannot be included within a required yard.

Lot Coverage: means the percentage of the lot area covered by buildings or structures, but not including an in-ground pool.

Lot Frontage: means the horizontal distance between interior side lot lines, or the distance between an exterior side lot line and an interior side lot line.

Lot Line: means any line that makes up the legally defined boundaries of a lot.

Lot Line, Exterior Side: means the longest lot line along a public road where a lot has two or more lot lines along a public road.

Lot Line, Front: means the shortest lot line along a public road.

Lot Line, Interior Side: means a lot line that extends from a front lot line to a rear lot line and does not front on a public road.

Lot Line, Rear: means the lot line which is opposite to the front lot line.

Major Transit Station: means a multi modal transit facility having arrival, departure, transfer and layover facilities.

Marina: means a premises containing docking facilities and which is located on a navigable waterway, where boats or boat accessories are stored, serviced, repaired, launched or kept for sale and where a full range of marine services may be provided including but not limited to fuelling and sewage pump out facilities, showers, foodstuffs, and laundry facilities, and ancillary restaurants.

Motor Vehicle Repair Garage: means a premises where mechanical repairs on motor vehicles including painting and body repairs are performed and may include a motor vehicle gas station.

Motor Vehicle Sales / Rental Service Centre: means premises where new and used vehicles are kept for sale, lease or rent and may include a motor vehicle repair garage.

Motor Vehicle Gas Station: means premises for the retail sale of gasoline, diesel fuel, lubricants and associated automotive fluids and may include a propane filling station.

Natural Area Extent Line: means the boundary representing the extent and limits of all currently identified natural heritage features and natural hazard lands by upper tier government and agencies.

Natural Heritage Features: means wetlands, significant woodlands, fish habitat, areas of natural and scientific interest, significant habitat of endangered species and threatened species, significant wildlife habitat, natural corridors, key hydrological features.

Natural Hazard Lands: means shorelines, floodplains, and significant valleylands.

Night Club: means a premises providing dance facilities which may include the sale of liquor and/or food to club patrons, but does not include an adult oriented entertainment establishment.

Off Farm Products: means products that are not produced on the agriculture farm lot where they are sold.

Office: means a building or part thereof where administrative and clerical functions are carried out in the management of a business, profession, organization, or public administration.

Operating Apparatus: means outdoor mechanical equipment or machinery used in conjunction with buildings or structures including but not limited to air conditioners, pool pumps and pool heaters, generators, heat exchangers and compressors.

Outdoor Storage: means the keeping in an unroofed area of any goods, junk, material, merchandise or vehicles in the same place for more than 24 hours.

Parking Area: means a lot, or a part thereof used for the temporary parking of vehicles, driving aisles, and does not include outdoor storage.

Parking Structure: means a structure used for the parking of motor vehicles but does not include a garage, or a carport accessory to a detached, semi-detached or duplex dwelling.

Place of Assembly / Banquet Hall: means premises providing a room or rooms to accommodate gatherings of people for events including but not limited to trade shows, banquets, weddings and conventions, and does not include a Place of Worship.

Place of Worship: means a building, structure or part thereof, which is primarily used for the practice of religion and faith-based spiritual purposes wherein people assemble for faith based worship and teachings, fellowship and community social outreach, and may include a cemetery.

Platform Structure: means a raised level surface, including but not limited to decks, balconies and porches.

Playground: means an area for outdoor play which includes play equipment.

Play Equipment: means a structure that is designed and used for play and recreation.

Pool, Above Ground: means a pool used for recreational swimming with a superstructure 0.6m or greater above grade.

Pool, In-ground: means a pool used for recreational swimming with a superstructure that is less than 0.6m above grade.

Porch: means a platform structure attached to a main wall or walls of a building having a roof.

Premises: means the whole or part of lands, buildings or structures, or a combination thereof.

Principal: means the primary use of a lot or a building.

Principal Entrance: means the primary use entrance to a building.

Private Road Development: means a block of residential dwellings wherein each dwelling unit may or may not have lot frontage on a private or public road.

Public Road: means a road or highway under government jurisdiction that is open and maintained year round.

Recreation Facility: means a premises used for participatory and/or spectator-oriented recreation and entertainment uses, and may include ancillary office, restaurant, retail and service commercial uses.

Research Facility: means a premises for research, investigation, testing, or experimentation and which may include engineering and product development.

Residential Convenience Use: means a place of worship, service commercial, retail store, day care, common dining facility (not a restaurant), office, or indoor recreation facility that is accessory to an apartment building or long term care facility.

Restaurant: means a premises where food and drinks are prepared and sold for consumption either on or off the premises, and may include incidental entertainment.

Retail Store: means a building or part thereof where goods, wares, and new or used merchandise is offered for sale to the public.

Roof, Flat: means a roof with an angle less than 15 degrees.

Roof, Pitched: means a roof with an angle equal to or greater than 15 degrees.

Service Commercial: means a non-retail commercial use.

Setback: means the distance from a building or structure to a lot line.

Shopping Centre: means premises of primarily commercial uses that function as a unit either in a single building or in multiple buildings on the same lot or on abutting lots.

Sight Triangle: means an unobstructed triangular area where the front lot line and exterior side lot line meet on a corner lot.

Social Service Facility: means premises providing counseling advocacy, dispensing of aid and including, but not limited to a crisis centre and emergency shelter.

Special Needs Housing: means any housing, including dedicated facilities in whole or in part, that is used by people who have specific needs beyond economic needs including, but not limited to, needs such as mobility requirements or support functions required for daily living.

Stand Alone Parking Lot: means a stand alone parking area whether or not parking is provided in exchange for remuneration.

Storey: means the portion of a building situated between the top of any floor and the ceiling above it, or the top of the floor above it but does not include a basement.

Structure: means anything constructed or erected having a fixed point on or in the ground or attached to building or structure having a fixed point on or in the ground.

Tandem Parking: means the parking of one motor vehicle directly behind another.

Theatre: means any premises devoted to the presentation of live entertainment, performances or the showing of films but shall not include a nightclub or adult oriented entertainment establishment.

Transportation Depot: means any premises where large motor vehicles, buses, or taxis are parked and may include dispatching and administrative offices and vehicle servicing.

Upper Tier Government: means the Federal Government of Canada, Province of Ontario and Regional Municipality of Niagara.

Winery: means a premises used for the processing of fruit, fermentation, production, bottling, aging and storage of wine.

Yard, Exterior Side: means that portion of a lot between the exterior side lot line and the specified distance to where buildings or structures may be located, extending from the front yard to the rear yard.

Yard, Front: means that portion of a lot between the front lot line and the specified distance to where buildings or structures may be located, extending from interior side lot lines, or an exterior side lot line and an interior side lot line.

Yard, Interior Side: means that portion of a lot between an interior side lot line and the specified distance to where buildings structures may be located extending from the front yard to the rear yard.

Yard, Rear: means that portion of a lot between the rear lot line and the specified distance to where buildings or structures may be located, extending between the interior side lot lines, or an exterior side lot line and an interior side lot line.

Yard, Required: means that portion of a lot between a specified lot line and the specified distance to where a building or structure may be located.

SECTION 13 SPECIAL PROVISIONS

Where special provisions are established for certain lots, the applicable regulations of the special provisions apply in addition to, or as an exception to, the normal zone provisions that apply to the subject lands.

Where on Schedule A to this By-law, a zone symbol (e.g. R1) applying to lots contains a suffix at the end of the zone symbol consisting of a dash and number (e.g. R1-1), this indicates that a special provision applies to the subject lot(s). The number after the dash corresponds with the special provision number as set out in Section 13. There may be more than one number and, hence, special provision, that applies to certain lots (e.g. R1-1, 14 and thus Special Provision 1 and 14 would apply).

All other provisions of this By-law, not mentioned in this section shall continue to apply.

13.1 List of Special Provisions

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
1	R3	14		8 Dixie Road	
For an apartment building the following applies:					
1.	Minimum lot frontage			45 m	
2.	Minimum lot area			4100 m²	
3.	Minimum front yard			17 m	
4.	Minimum rear yard			15 m	
5.	Minimum setback from south lot line			8 m	
6.	Minimum setback from north lot line			12 m	
7.	Maximum height			9 m	
8.	Maximum building coverage			30%	
9.	Minimum parking			1.75 spaces per dwelling unit	
10.	Minimum landscaped open space			40%	
11.	Minimum landscape buffer along the Dixie Road frontage			3 m	
12.	Minimum landscape buffer along the rear lot line			3 m	

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
2		I2	9	1	585 Niagara Street	
1.	Permitted uses: Area 'A', 'B' and 'C'			Apartment Building (Retirement Residence) Apartment Building (Condominium) Private Road Development Dwelling street townhouse Place of Worship		
2.	Minimum Density (Area 'A', 'B' and 'C')			20 units per hectare		
3.	For Area 'A' on Schedule B1 an Apartment Building, (Retirement Residence or Condominium) is permitted subject to the following provisions: <u>Apartment Building (Retirement Residence)</u>					
	a)	Minimum lot area			0.5 ha	
	b)	Minimum lot frontage (Niagara Street)			30 m	
	c)	Minimum front yard (Niagara Street)			9 m	
	d)	Minimum yard			North - 7.5 m South - 23 m West - 15 m	
	e)	Minimum width of landscape buffer along southerly property line			7.5 m	
	f)	Maximum lot coverage			35%	
	g)	Minimum landscaped open space			40%	
	h)	Minimum parking			1.0 space per retirement residence dwelling unit	
	i)	Minimum width of landscape buffer along Niagara Street			3 m	
	j)	Maximum building height			15 m	
	k)	Maximum unit size of a retirement residence dwelling unit			One bedroom - 65 m ² Two bedrooms - 79 m	
	l)	An apartment building (retirement residence) means an apartment building with dwelling units intended to accommodate the aged. Dwelling units may or may not include space independently devoted for cooking, dining, recreation or fitness activities.				
	m)	No day care or schools shall be permitted as accessory uses. Accessory uses shall be permitted only for the residents of the retirement residence, their guests, and staff.				
	<u>Apartment Building (Condominium)</u>					

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
2		I2	9	1	585 Niagara Street	
	a)	Minimum lot area			0.5 ha	
	b)	Minimum lot frontage (Niagara Street)			30 m	
	c)	Minimum front yard (Niagara Street)			9 m	
	d)	Minimum yard			North - 7.5 m South - 23 m West - 15 m	
	e)	Minimum width of landscape buffer along southerly property line			7.5 m	
	f)	Maximum lot coverage			35%	
	g)	Minimum landscaped open space			40%	
	h)	Minimum parking			1.75 spaces per dwelling unit	
	i)	Minimum width of a landscape buffer along Niagara Street			3 m	
	j)	Maximum building height			15 m	
4.	For Area ‘A’ and ‘B’ on Schedule B1, Private Road Development shall be permitted subject to the following:					
	a)	Minimum lot area -			0.5 ha	
	b)	Minimum lot frontage			30 m	
	c)	Minimum yard			North - 7.5 m South - 8 m East - 9 m West - 8 m	
	d)	Maximum lot coverage			40%	
	e)	Minimum landscaped open space			35%	
	f)	Minimum landscape buffer adjacent to Maplewood Drive and Niagara Street			3 m	
	g)	Minimum parking			2 spaces per dwelling unit shall be provided, one space shall be provided in a garage and the second space shall be provided in the driveway in front of the garage.	
					1.25 spaces shall be provided per retirement residence dwelling unit	

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
2		I2	9	1	585 Niagara Street	
	h)	Maximum building height			2 storeys to a maximum of 7.5 m	
	i)	A private road development (retirement residence) means townhouse dwellings intended to accommodate aged persons with individual dwelling units being a maximum of 88 m ² .				
	j)	Minimum setback from garage to any internal private road shall be 6 m.				
	k)	Garages shall not project more than 1.0 m beyond the front facade of the building.				
	l)	Driveways shall be twinned for abutting units.				
5.	For Area ‘B’ and ‘C’ on Schedule B1, Street Townhouse Dwellings shall be permitted subject to the following provisions: <u>Street Townhouse Dwellings</u>					
	a)	Maximum attached principal dwelling units			8	
	b)	Minimum lot area			190 m ² per unit	
	c)	Minimum lot frontage			5.5 m per unit at the front lot line	
	d)	Minimum front yard setback			6 m	
	e)	Minimum side yard setback			1.2 m except that a common wall may be centred on the side lot line	
	f)	Minimum rear yard setback			6 m	
	g)	Maximum building height			2 storeys to a maximum of 7.6 m	
	h)	Minimum parking required			2 parking spaces per dwelling unit. Tandem parking shall be permitted.	
	i)	Maximum lot coverage			50%	
	j)	A minimum of 50% of the front yard shall be landscaped open space				
	xi)	A parking area permitted in the front yard only, shall not exceed 50% of the front yard				
	k)	Garages shall not project more than 1.0 m beyond the front facade of the building.				
	l)	Driveways shall be twinned for abutting units.				
6.	For Area ‘D’ on Schedule B1 – The following special requirements shall apply to permitted uses and building accessory thereto.					

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
2		I2	9	1	585 Niagara Street	
	a)	Minimum yard			North (Linwell Road) – 1.0 m East (Niagara Street) – 3.5 m	

Special Provision	Zone	Schedule A	Location	By-law
3	R2	9	289 Vine Street	
Permitted uses: a private road development containing only detached dwellings, townhouse dwellings.				
1.	Maximum Number of Townhouse Dwelling units		4 units	
2.	Maximum Number of Detached Dwellings units		2 units	
3.	Minimum lot area		2694 m ²	
4.	Minimum lot frontage		13.1 m	
5.	Minimum front yard		27.4 m	
6.	Minimum side yard		North - 3.0 m South - 3.0 m East - 1.2 m	
7.	Minimum rear yard		6.1 m	
8.	Maximum lot coverage		35%	
9.	Minimum landscaped open space		25%	
10.	Minimum number of parking spaces		2.0 spaces per dwelling unit which may be provided in tandem formation.	
11.	Each dwelling unit shall have a garage			
12.	Maximum building height		1 storey to a maximum of 6.7 m	

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
4		R3	9, 15		397, 401 & 403 Carlton Street	
1.	Permitted uses					
	a)	Apartment building			A maximum of 124 apartment dwelling units shall be permitted	
	b)	Commercial			Convenience retail stores, personal service businesses, business and professional offices but not clinics, shall also be permitted only where located on the ground floor of any apartment building with a minimum residential density of 85 units per ha. The total gross leasable floor area (glfa) for all commercial uses shall not exceed 930 m ² . The total gross leasable floor area (glfa) per individual commercial use shall not exceed 280 m ²	
2.	The following provisions shall apply to an apartment building:					
	a)	Maximum building height			36 m	
	b)	Building podium			An apartment building greater than four storeys in height shall have a defined podium section which shall range in height from 6.0 to 11.0 m. Upper floors above the fourth storey shall be setback at least 2.0 m from the outside edge of this podium.	
	c)	Minimum yard requirements From front lot line (Carlton Street):			6.0 m for portions of the building less than 11.0 m in height 10.0 m for portions of the building between 11.1 – 28.0 m in height; and 13.0 m for portions of the building taller than 28.1 m in height.	

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
4		R3	9, 15		397, 401 & 403 Carlton Street	
		From interior side lot line:			Half the building height for that portion of the building.	
		From rear lot line:			Half the building height for that portion of the building.	
	d)	Maximum lot coverage			50%	
	e)	Landscape buffer:			A minimum 3 m wide along the side and rear lot lines.	
	f)	Outdoor common amenity area:			One or more common outdoor amenity areas shall be provided which are not smaller than 5% of the lot area. These amenity areas shall not be located within the required landscape buffer, but may be provided above grade on rooftops or terraces.	
	g)	Location of parking and driveways			No parking spaces or drive aisles shall be located between the front building wall and street.	
	h)	Minimum Parking Requirement:			1.5 parking spaces per apartment dwelling unit larger than 61 m². For apartment dwelling units 61 m² and under, 1.0 parking spaces per apartment dwelling unit shall be required.	
Note: Holding Provision H12 also applies to the subject lands.						

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
5		E1	18	2	1242 Fourth Avenue 1262 Fourth Avenue 1290 Fourth Avenue 1296 Fourth Avenue	
1.	In addition to the principal uses in Section 7.2 Business Commercial Employment (E1), service commercial shall be a principal use. The lands described as Areas 1, 2 and 3 on Schedule B2, shall be subject to the following special provisions:					
	a)	Minimum lot frontage			30 m	
	b)	Minimum lot area			2000 m ²	
	c)	Maximum building coverage			40%	
	d)	Maximum building setback from Fourth Avenue and Third Street Louth			28 m	
	e)	Minimum building setback from Fourth Avenue and Third Street Louth			10 m	
	f)	Minimum building setback from all other streets			6 m	
	g)	Minimum building façade width			60% of lot frontage along Third Street Louth 60% of lot frontage along Fourth Avenue	
	h)	Minimum side yard			6 m or ½ height of building whichever is greater	
	i)	Minimum rear yard			7.6 m	
	j)	Minimum rear yard from CN right of way			5 m	
	k)	Maximum building height:			10 m at 10 m from any property line, 25 m at 20 m from any property line, 40 m at 30 m or more from any property line.	
	l)	Parking Structures will be subject to the following provisions:				
		i)	Maximum lot coverage			40%
		ii)	Minimum side yard			15 m
		iii)	Minimum rear yard			30 m
		iv)	Minimum rear yard from CNR right of way			5 m
		v)	Maximum height			20 m
	m)	No parking structures are permitted within 28 m of Fourth Avenue and Third Street Louth				
	n)	Minimum landscape buffer adjacent to Fourth Avenue and Third Street Louth			10 m	

Special Provision			Zone	Schedule A	Schedule B	Location	By-law
5			E1	18	2	1242 Fourth Avenue 1262 Fourth Avenue 1290 Fourth Avenue 1296 Fourth Avenue	
	o)	Minimum landscape buffer adjacent all other streets				6 m	
	p)	Minimum landscaped open space				20%	
	q)	Minimum landscape buffer abutting Francis Creek drainage channel				15 m	
	r)	No outdoor storage, outdoor display or outdoor compounds including compounds for commercial fleet vehicles shall be permitted.					
	s)	Loading bays, loading spaces and loading docks are only permitted in the rear yard.					
2.		In addition to the principal permitted uses outlined in Section 1, the lands described as Area 2 on Schedule B2 shall also permit: a) The required parking for the hospital complex located to the east b) Long-Term Care Facility.					
3.	Area 1 on Schedule B 2 shall be subject to the following restrictions:						
	a)	No external loading bays, loading spaces or loading docks shall be permitted.					
	b)	Drive-thru facilities shall not be permitted.					
4.	The lands described as Areas 1, 2, and 3 on Schedule B2 shall also permit the following accessory uses:						
	a)	Restaurant					
	b)	Retail store					
5.	All accessory uses shall be subject to the following special provisions:						
	a)	The total gross leasable floor area of all combined accessory uses on a lot is restricted to a maximum of 20% of the gross leasable floor area of the principal use(s) on the lot.					
	b)	The total gross leasable floor area of all combined accessory retail stores on a lot is restricted to a maximum of 10% of the gross leasable floor area of the principal use(s) on the lot.					
	c)	Each individual accessory use is restricted to a maximum of 190 m ² of gross leasable floor area, with the exception of restaurants which are restricted to a maximum of 500 m ² gross leasable floor area.					
	d)	No parking is required for accessory uses.					
	e)	Retail store is not permitted where an accessory showroom with the same principal use.					
	f)	All accessory uses are subject to the same provisions as a principal use with the exception of parking.					

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
5		E1	18	2	1242 Fourth Avenue 1262 Fourth Avenue 1290 Fourth Avenue 1296 Fourth Avenue	
	g)	All accessory uses must be contained within the same building as the principal uses(s) with the exception of restaurants which may be in a free standing building.				
6.		The lands described on Schedule B Map 2 shall be subject to the following definitions:				
	a)	Prestige employment uses: means any operation or activity related to the production or handling of any article or service on a non-retail basis and shall include assembly, manufacturing testing, researching, designing, delivering, warehousing, wholesaling, storage, cleaning, servicing, experimenting, scientific investigation with a wholly enclosed building without outdoor storage, outdoor display or outdoor compounds including compounds for commercial fleet vehicles, and where no fumes, emissions, odours, noise or vibration are generated. It shall not include mini-storage, truck terminals or automobile service and repair.				
		Note: Holding Provision H3 also applies to the subject lands.				

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
6	R2	6, 7		Various Port Dalhousie Cottage Area	
1.	Outdoor Privacy Zone: a minimum outdoor privacy zone shall be provided on each lot immediately adjacent to the main building and shall represent an area equal to 40% of the total floor area of the dwelling unit. The privacy zone shall be uninterrupted outdoor area at grade for the purpose of recreation and leisure activities, and shall have at least a dimension of 4.5 m and shall not be located in the front yard. The outdoor privacy zone may be calculated as part of the landscaped open space.				
2.	Permitted Use			Single detached dwelling	
	Minimum lot area			232 m ²	
	Minimum lot frontage			12 m	
	Minimum interior side yard			1 m	
	Minimum front yard			3 m	
	Minimum exterior side yard			3 m	
	Maximum rear yard			1 m	
	Maximum height			7.5 m	
	Minimum landscaped open space			25%	
	Maximum lot coverage			40%	

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
7	R2 R3	6, 7		Various Port Dalhousie Area	
Maximum Height – 9 m					

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
8	C2	7	3a, b, & c	16 Lock St 12 Lakeport Road	
1.	Areas 1, 2 and 3 identified on Schedule B 3a, shall be subject to additional provisions, as follows:				
	a)	Only the following permitted uses - Office - Restaurant - Retail store - A Theatre - Service Commercial - Apartment Dwellings Units over and behind any forgoing use - A residential building up to a maximum of 80 dwellings units and up to 17 storeys, but not to exceed 62 m in height, <i>only</i> in conjunction with the following: - A minimum of 3,600 m ² of retail, restaurant and office space, and - A hotel with a minimum of 70 rooms; and - A theatre with a minimum seating capacity of 400 seats.			
	b)	The following site specific provisions shall apply to Areas 1, 2 and 3, identified on Schedule B 3a:			
		i)	Minimum Building Setbacks from the property line shall be in accordance with Schedule B 3b or if the project is proceeding without Areas 2 and 3, in accordance with Schedule B 3c.		
		ii)	Maximum Height limits shall be permitted in accordance with Schedule B 3b or if the project is proceeding without Areas 2 and 3, in accordance with Schedule B 3c.		
		iii)	Maximum Lot Coverage (including outdoor plaza and public observation terrace) 100%		
		iv)	Minimum Open Space Accessible to the Public <ul style="list-style-type: none">• 27% of the total site area, including the outdoor plaza and public observation terrace.		
		v)	Parking		

Special Provision			Zone	Schedule A	Schedule B	Location	By-law
8			C2	7	3a, b, & c	16 Lock St 12 Lakeport Road	
			Minimum required parking for the hotel, 1 space per room and minimum required parking for the residential uses 1.75 spaces per condominium dwelling unit and 1.5 spaces per rental dwelling unit shall be provided underground. Parking for the theatre shall be provided at a rate of one (1) parking space for every four (4) seats of seating capacity. Minimum required parking for the theatre shall be provided by either or both of the following:				
			<ul style="list-style-type: none">on-site underground parking;off-site parking in the public parking lot in Lakeside Park, satisfactory to the Municipality;				
			No more than 37 of the on-site underground parking spaces required by this Section 1 b) v) may be provided as Tandem Parking Spaces.				
		vi)	Setback from the G3 boundary – 0 m; except that one exterior stair case and one ramp to service underground parking and service areas shall be permitted to encroach into the G3 Zone.				
		vii)	There shall be no requirement to provide useable recreational space for the <i>exclusive</i> use of each dwelling unit, however, recreational facilities shall be provided as common facilities for the hotel and residential uses.				
		viii)	All privately owned open space uses, namely the outdoor plaza and public observation terrace, shall be accessible to the public by easement.				
		ix)	Building materials shall be subject to the terms of the site plan agreement, heritage easement agreements and any other agreements deemed necessary to secure building materials sympathetic to the established heritage character.				
		x)	For the purposes of this by-law, the following definitions shall apply:				
			<ul style="list-style-type: none">Grade shall mean the elevation of the finished surface of the ground of Hogan’s Court, as identified in Schedules B3b and B3c.Height shall mean the vertical distance of a building between grade, as defined, and the highest point of the roof.Tandem Parking Spaces shall mean an area of not less than 30 m² for the temporary parking or storage of up to 2 motor vehicles, or an area of not less than 45 m² for the temporary parking or storage of up to 3 motor vehicles, where access to the parking space for each vehicle may require the moving of another vehicle. Tandem parking shall only be allowed if operated by valet service.				
Note: Holding Provisions H4 and H5 also applies to the subject lands.							

Special Provision	Zone	Schedule A	Location	By-law
9	C2	7	Port Dalhousie Core	
1.	Ground floor dwelling units are not permitted			
2.	Retail stores are permitted on upper floors only in conjunction with a ground floor commercial use			
3.	Maximum height – 11 m			
4.	Non-residential uses are exempt from the parking requirements of Section 3.12.2 of this By-law.			
5.	Hotel / motel shall be permitted.			
6.	Minimum required front yard or exterior side yard - 0 m			

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
10	C2	7		Port Dalhousie Harbour Area	
1.	Administrative offices of a marina and boat slips and hotel / motel shall be permitted.				
2.	Maximum height – 11 m				

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
11	A3	17, 18		Various	
In addition to the uses permitted in A3: a. Existing retail store and/or b. Existing motor vehicle gas station and/or c. Existing motor vehicle repair garage.					

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
12	C1	8		411 Lake Street	
1.	A side yard of 3.0 m shall be required.				
2.	A minimum of 23 parking spaces shall be required.				
3.	A minimum front yard of 3.0 m shall be required.				
4.	No outdoor storage, sales or displays shall be permitted.				

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
13		R4	7, 13	4	81 and 85 Scott Street	
1.	The lands described as Area 1 on Schedule B4 shall be used for no other purpose than one of the following uses:					
	a)	An apartment building and buildings and structures accessory thereto; or				
	b)	An apartment building containing an accessory recreational centre for the exclusive use of residents of the apartment buildings which are located on the lands described as Area 1, Area 2 and Area 3 on Schedule B4 and which recreational centre may include one or more of the following uses: (ii) Racquetball courts to a maximum of 4; (iii) Gymnasium (iv) Swimming pool; (v) Rooms or facilities accessory to the foregoing uses; and, Buildings and/or structures accessory to the foregoing uses.				
2.	The lands described as Area 1 on Schedule B4 shall be subject to the following special requirements:					
	a)	That the building setback from the south lot line be not less than 14 m;				
	b)	That the building setback from the east lot line be not less than 6 m;				
	c)	i)	That the minimum building setback for the west lot line be a distance equal to one-half of the building height;			
		ii)	That the minimum building setback from any portion of the south-west lot line be a distance equal to one-half of the building height or the minimum distance shown on Schedule B4 attached hereto, whichever is the lesser distance;			
	d)	That the building setback from the north lot line be a distance equal to not less than one-half the height of the building;				
	e)	That the maximum building height be 11 storeys or 34 m;				
	f)	That parking be provided in accordance with the following standards;				
		i)	Not less than 1.25 parking spaces for each dwelling unit;			
		ii)	10 parking spaces for any accessory recreational centre;			
	g)	That the total building and structure coverage shall not exceed 60% of the total lot area when a parking structure is constructed on the lands;				
	h)	That any attached or detached parking structure or ramp shall not exceed 4 m in height;				
	i)	Despite the provisions of 2(c) and 2(d) noted above, any attached or detached parking structure or ramp shall be located not less than 3 m from the north, west and south-west lot line;				
	j)	That the maximum coverage for a detached parking structure shall be 25% of the total lot area;				

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
13		R4	7, 13	4	81 and 85 Scott Street	
	k)	that the minimum amount of landscaped open space shall be 33% of the total lot area;				
3.	The lands described as Area 2 and 3 on Schedule B4, shall be used for no other purpose than apartment buildings and structures accessory thereto.					
4.	The lands described as Area 2 and Area 3 on Schedule B4 shall be subject to the following special requirements;					
	a)	That the building setback from the street line be not less than 6 m;				
	b)	That the building setback from the west and east lot line be not less than one-half the height of the building;				
	c)	That the building setback from the north lot line shall be not less than the height of the building;				
	d)	That the building setback from the south lot line be not less than one-half the height of the building;				
	e)	That the maximum building height be 8 storeys or 25 m;				
	f)	That the total building and/or structure coverage shall not exceed 50% of the total lot area when a parking structure is constructed on the lands;				
	g)	That any attached or detached parking structure or ramp shall not exceed 4 m in height;				
	h)	Despite the provisions of Section 2 c) d) and e) noted above, any attached or detached parking structure or ramp shall be located not less than 3m from any side lot line; and be located not less than 6 m from the north (rear) lot line;				
	i)	That the maximum coverage for a detached parking structure shall be 25% of the total lot area;				
	j)	That the minimum amount of landscaped open space shall be 33% of the total lot area;				

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
14		G1 R3	13	5	174 Martindale Road	
1.	The lands described as Area 1 on Schedule B5 shall be used for purposes of townhouse dwellings and buildings accessory thereto, subject to the following;					
	a)	Minimum Lot Frontage			25.0 m along a private road	
	b)	Minimum setback from private road			3.0 m for main building	
	c)	Minimum setback from Conservation/Natural Area (G1) Zone			0 m	
	d)	Minimum setback from Business Commercial Employment (E1) Zone			3.0 m	
	e)	Minimum setback from property lines between townhouse blocks			1.2 m	
	f)	Maximum number of attached dwelling units			7	
	g)	Maximum building height			2 storeys	
	h)	Minimum parking requirement			1.75 spaces per unit. In addition, tandem parking shall be permitted.	
	i)	Minimum distance between buildings			2.4 m	
	j)	Minimum lot coverage			40%	
	k)	Minimum landscaped open space			25%	
	l)	Minimum amenity space			20 m ² per dwelling unit	
2.	Outdoor raised decks for any townhouse dwelling in Area 1 be permitted to encroach no more than 3.0 m into Area 2 on Schedule B5.					

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
15	G1 R3	13	6	172 Martindale Road 1 to 31 Black Walnut Common	
1.	Private Road Developments on the lands shown as Area 1 on Schedule B6 shall be subject to the following:				
	a)	Maximum number of dwelling units		16	
	b)	Minimum lot frontage		0 m	
	c)	Minimum setback from private road		3.0 m to main dwelling 6.0 m to garages	
	d)	Minimum setback from Conservation/Natural Area (G1) Zone		2 m	
	e)	Minimum setback from property line between multiple attached dwelling blocks		1.0 m	
	f)	Maximum number of attached principal dwelling units		7	
	g)	Maximum building height		10.8 m	
	h)	Minimum parking requirement - 2.4 spaces per dwelling unit. In addition tandem parking shall be permitted and is defined as one parking space located behind another parking space where both spaces are for the exclusive use of one dwelling unit.			
	i)	Maximum lot coverage		40%	
	j)	Minimum landscaped open space		25%	
	k)	Maximum number of an interior accessory dwelling units per principal dwelling unit		1	
	l)	Maximum floor area of an interior accessory dwelling unit		74.32 m ²	
	m)	For the purposes of this By-law, interior accessory dwelling unit means a second dwelling unit within a private road development.			

Special Provision		Zone	Schedule	Schedule B	Location	By-law
16		R3	13	7	40 Tulip Tree Common	
1.	In addition to the permitted uses of the Medium Density Residential (R3) Zone, a bed and breakfast inn, a business office or a business office as a home based business shall be permitted on the lands shown as Part 1 on Schedule B7,					
2.	A business office or a business office as a home based business shall be subject to the following:					
	a)	Maximum Gross Floor Area			84 m ²	
	b)	Minimum Parking for Business Office			1 parking space per 19 m ²	
	c)	A business office, or a business office as a home based business, shall include a real estate sales office for the initial sale only of new dwellings located in the Village on the Twelve development within Lots 2, 3, and 4, registered Plan 30M-167				
	d)	Minimum Interior Side Yard			7.5 m	
	e)	Minimum Landscape buffer Along interior Side Lot Lines			1.0 m	
	f)	Maximum number of employees			3	
3.	Bed and breakfast inn shall be subject to the following provisions:					
	a)	Maximum number of bed and breakfast rooms			5 (excluding the owner's residence)	
	b)	Minimum setback from private road			3.0 m to principal dwelling	
	c)	Minimum parking requirement			1 parking space per bed and breakfast room and 2 parking spaces for the owner	
	d)	Maximum height for accessory building			6 m	
	e)	Minimum setback for accessory building from east property line			1.0 m	
	f)	Minimum landscaped open space			25%	

Special Provision	Zone	Schedule A	Location	By-law
17	R3	13	38 Tulip Tree Common	
A detached dwelling shall be subject to the following provisions:				
1.	Minimum lot area		280 m ²	
2.	Minimum lot frontage measured at private road		8 m	
3.	Minimum setback from private road		6 m	
4.	Minimum interior side yard		1.0 m	
5.	Minimum rear (east) yard		2 m	
6.	Maximum building height		9 m	
7.	Maximum lot coverage		45%	
8.	Maximum parking requirement		2 parking spaces per dwelling unit. Tandem parking shall be permitted.	

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
18		R3	13		164 & 164A Martindale Road	
1.	Permitted uses – one apartment building with a maximum of 32 dwelling units.					
	a)	Maximum height			16 m	
	b)	Minimum setback from private road			3.0 m	
	c)	Minimum setback from west property line (Division between Lots 1 and 2, Plan 30M-167)			3.0 m	
	d)	Minimum parking requirement			1 parking space per dwelling unit	
	e)	Minimum landscaped open space			25%	
2.	Permitted uses - private road development - Interior accessory dwelling unit shall be permitted					
	a)	Maximum height			10.8 m	
	b)	Minimum setback from private road			3.0 m to dwellings 6.0 m to garages	
	c)	Minimum setback from south property line			1.0 metre	
	d)	Minimum setback from west property line (Division between Lots 1 and 2, Plan 30M-167)			1.0 metre	
	e)	Minimum interior side yard for detached and semi-detached dwellings			1.0 metre	

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
18		R3	13		164 & 164A Martindale Road	
	f)	Minimum parking requirement			1.75 spaces per dwelling unit. Tandem parking shall be permitted.	
	g)	Minimum landscaped open space			25%	
	h)	Minimum setback from property line between multiple attached dwelling blocks			1.0 m	
	i)	Maximum number of attached units			7 units	
	j)	Maximum number of accessory dwelling units per multiple attached, semi-detached or single detached dwelling unit			1 unit	
	k)	Maximum floor area of interior accessory dwelling unit			74.4 m ²	

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
19		R3	13		168, 168A, 170 Martindale Road 30 Black Walnut Common 2 and 36 Tulip Tree Common	
1.	Permitted uses: One apartment building with a maximum of 32 dwelling units					
	a)	Maximum height			16 m	
	b)	Minimum setback from private road			3.0 m	
	c)	Minimum parking requirement			1 parking space per unit	
	d)	Minimum landscaped open space			25%	
2.	Permitted uses: private road development					
	a)	Maximum height			10.8 m	
	b)	Minimum setback from private street			2.0 m to main dwellings 6.0 m to garage	
	c)	Minimum parking requirement			1.75 spaces per unit. Tandem parking shall be permitted.	
	d)	Minimum landscaped open space			25%	
	e)	Minimum setback from property line and between dwellings			1.0 m	
	f)	Maximum number of attached units			7 units	
	g)	Maximum number of accessory dwelling units per multiple attached dwelling unit			1 unit	
	h)	Maximum floor area of accessory dwelling unit			74.32 m ²	
	i)	Interior Accessory Dwelling Unit is permitted in a private road development.				
3.	Permitted uses: Bed and Breakfast Inn					
	a)	Maximum number of Bed and Breakfast rooms			8 (excluding owner's residence)	
	b)	Maximum height to the peak of the building			16 m	
	c)	Minimum setback from private street			3.0 m	
	d)	Minimum parking requirement			1 parking space per bed and breakfast room and two spaces for the owner	
	e)	Minimum landscaped open space			25%	

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
20	M1	19		230 Louth Street	
Despite the provisions of Section 8, in addition to the permitted uses of the M1 Zone, the lands are permitted to be used for Heavy Industrial providing the use complies with the zone provisions of the E2 Zone and shall include the right for the existing use of the site to undergo internal conversions and external additions in order to provide for a heavy industrial facility and related warehouse space.					
Note: Special Provision 118 and Holding Provision H6 also applies to the subject lands.					

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
21		R3	13		59 Wellandvale Road	
1.	Despite the provisions of Section 5, in addition to the permitted uses of the R3 Zone, the lands are permitted to be used for manufacturing providing the use complies with the zone provisions of the E2 Zone and shall include the right for the existing use of the site to undergo internal conversions and external additions in order to provide for a manufacturing facility and related warehouse space.					
2.	Any new development, including external additions, shall be located above the 100 year flood plan elevation.					
Note: Holding Provision H1 and H16 also applies to the subject lands.						

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
22	I2	25		125 and 141 Vansickle Road	
1.	Additional permitted uses: <ul style="list-style-type: none">- Private park;- Apartment building;- And buildings accessory thereto.				
2.	The use of an apartment building shall be subject to the following requirements:				
	a)	Minimum lot area: 100 m ² for the first 11 dwelling units plus 90 m ² for each additional dwelling unit;			
	b)	Minimum lot frontage: 18 m			
	c)	Minimum front yard: 23 m from property line;			
	d)	Minimum side yard: 12 m			
	e)	Minimum rear yard: 14 m			
	f)	Maximum building height: 5 storeys to a height no greater than 14 m			

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
22		I2	25		125 and 141 Vansickle Road	
	g)	Maximum building coverage: 40% of lot area;				
	h)	Minimum landscaped open space: 20 m ² per dwelling unit;				
	i)	Maximum number of dwelling units: 50				
	j)	Minimum parking spaces: 1 parking space per dwelling unit.				

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
23		R3	19	8 a & b	179 Rykert Street	
1.	The lands shown as Part 1 on Schedule B8a shall be subject to the following:					
	a)	Permitted uses			Detached dwellings Semi-detached dwellings	
	b)	Minimum lot frontage			10.2 m for detached dwellings 17 m for a semi-detached dwelling (8.5 m per dwelling unit)	
	c)	Minimum lot area			271 m ² for a single detached dwelling 452 m ² for a semi-detached dwelling (226 m ² per dwelling unit)	
	d)	Maximum lot coverage			45%	
	e)	Minimum front yard			5.2 m to dwelling unit 6.0 m to a garage	
	f)	Minimum exterior side yard			4.0 m	
	g)	Minimum interior side yard			1.2 m	
	h)	Minimum parking			2.0 spaces per dwelling unit (tandem parking is permitted)	
	i)	Maximum front yard parking area for detached dwellings			30% of the width of the front yard, or a maximum width of 3.0 m, whichever is less	
		For semi-detached dwellings			40% of the width of the front yard or a maximum width of 3.0 m, whichever is less	

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
23		R3	19	8 a & b	179 Rykert Street	
	j)	Garages			Attached garages shall be recessed back a minimum of 1.2 m from the front facade of the dwelling or front edge of a porch or deck located in the front yard; and that the garage for the single detached dwelling at the corner of Rykert Street and Westland Street be located within the building envelope as shown on Schedule B 8b.	
2.	The lands shown on Schedule B8b shall be subject to the following:					
	a)	Permitted uses			An apartment building	
	b)	Minimum lot frontage			23.0 m	
	c)	Minimum lot area			0.43 ha	
	d)	Minimum front yard			6.0 m	
	e)	Minimum rear yard			7.5 m	
	f)	Maximum height			11.0 m	

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
24	E1	8, 15, 16		Various	
Additional uses: Motor Vehicle Sales/Rental Service Centre Requirements of Section 6, C3 Uses shall apply to the Motor Vehicle Sales/Rental Service Centre.					

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
25	E1	19		2012 and 2032 First Street Louth 399 Vansickle Road	
In addition to E1 uses all principal E2 uses shall be permitted and shall be subject to E1 provisions.					

Special Provision	Zone	Schedule	Schedule B	Location	By-law
26	E2	19	9	326, 362 St. Paul Street West, 10-66 Commerce Place	
1.	Maximum building height			7.5 m	
2.	Minimum landscape buffer along St. Paul Street West			7.5 m. No driveways shall be allowed to cross the landscape buffer.	
3.	The definition of landscape buffer for the purposes of this Special Provision shall be defined to include vegetative plantings of a height which collectively will provide a continuous and complete visual barrier along St. Paul Street West and shall not be subject to a height limit.				
4.	No parking areas, loading spaces or accessory buildings are permitted between a principal building and the lot line along St. Paul Street West				

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
27	E1	13		218, 222 & 250 Martindale Road	
Additional permitted use: Contractor's yard Contractor's yard shall be subject to E2 provisions.					

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
28		R3	21	10	61 Village Road	
1.	The lands shown as Area 1 on Schedule B10 shall be subject to the following:					
	a)	Permitted uses:			Detached dwelling; Semi-detached dwelling; Private Road Development; Apartment building; and any use building or structure accessory to any of the above permitted uses.	
	b)	Maximum building height: Apartment building: detached dwelling, semi-detached dwelling, and private road development			13.0 m 11.0 m	
	c)	Minimum building setbacks				
		i)	From northerly property line adjacent to Glen Morris Drive:		3.0 m	
		ii)	From easterly property line:		3.0 m	
		iii)	From southerly property line:		12.5 m	
		iv)	Minimum separation between buildings:		3.0 m, except where the separation is between two garages, in which case the minimum separation shall be 1.0 m	
		v)	Minimum setback from a private road		3.0 m to the dwelling; 6.0 m to a garage	
	d)	Accessory structures:			Accessory structures shall not be permitted in the yard adjacent to Glen Morris Drive.	
	e)	Landscape buffer			Landscape Buffer shall be defined as landscaped open space with densely planted trees and other vegetation which provide significant height and that serve as visual barriers. These buffers may also contain fencing.	
		i)	A minimum of 5.5 m wide landscape buffer along the southerly lot line.			
		ii)	A minimum 5.5 m wide landscape buffer along the easterly lot line, to the south of the Jacobson Avenue access.			
		iii)	A minimum 3.0 m wide landscape buffer along the easterly lot line, to the			

Special Provision			Zone	Schedule A	Schedule B	Location	By-law
28			R3	21	10	61 Village Road	
			north of the Jacobson Avenue access.				
	f)	Minimum landscaped open space				20%	
	g)	Fencing				Decorative fences with a maximum height of 1.2 m shall be permitted along the Glen Morris Drive frontage. This fencing shall be of an open-type construction, which shall not include chain link. Solid fences shall not be permitted in the yard abutting Glen Morris Drive.	
	h)	Minimum parking requirement detached and semi-detached dwelling units and private road developments:				2.0 spaces per dwelling unit. Tandem parking is permitted where both parking spaces are for the exclusive use of one dwelling unit. The minimum dimensions of a required parking space in a private garage shall be 3.2 m x 5.4 m.	
	i)	Apartment building				1.3 spaces per dwelling unit	
2.	The lands as shown as Area 2 on Schedule B10 shall be subject to the following:						
	a)	Permitted uses:				Detached dwelling; semi-detached dwelling; private road development; and any use, building or structure accessory to any of the above permitted uses.	
	b)	Maximum building height				11.0 m	
	c)	Minimum setbacks					
		i)	From northerly property line adjacent to Glen Morris Drive			1.2 m	
		ii)	From easterly zone boundary adjacent to G1 zone:			3.5 m	
		iii)	From southerly lot line:			3.0 m	
		iv)	From westerly lot line adjacent to Village Road			3.0 m	
		v)	Landscape buffer			A minimum 3.0 metre wide landscape buffer shall be provided along the southerly property line. A landscape buffer with a minimum width of 1.0 m	

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
28		R3	21	10	61 Village Road	
						shall be provided along the westerly lot line, adjacent to parking areas through the use of landscaping and/or a decorative fence/wall. The maximum height of this buffer shall be 1.2 m.
	d)	Minimum landscaped open space			20%	
	e)	Fencing			Decorative fencing with a maximum height of 1.2 m shall be permitted along the Glen Morris Drive frontage. This fencing shall be of an open-type construction, which shall not include chain link. Solid fences shall not be permitted in the yard abutting Glen Morris Drive.	
	f)	Encroachments			Architectural projections such as verandas, which may or may not be covered, will be permitted to encroach into a required setback to a maximum of 2.5 m. Encroachments will not be permitted within a sight triangle, and shall be measured diagonally at 4.5 m from the intersection.	
	g).	Minimum parking requirement			2.0 parking spaces per dwelling unit. Tandem parking is permitted. The minimum dimensions of a required parking space in a private garage shall be 3.2 m x 5.4 m.	
	h)	Visitor parking			0.25 spaces per unit.	

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
29	R3	20		7 Riverview Boulevard	
Apartment building shall be subject to the following provisions:					
1.	Minimum landscaped open space			21%	
2.	Minimum number of parking spaces			0.9 spaces per unit including 2 accessible spaces	
3.	Minimum front yard setback			4.5 m	
4.	Minimum setback from Riverview Boulevard			6.0 m	
5.	Minimum setback from south property line			14.0 m	
6.	Minimum rear yard setback (west lot line)			6.0 m	

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
30	C4	19		294-310 Fourth Avenue	
Provisions:					
1.	Minimum parking			1 parking space per 22 m² gross leasable floor area including restaurants	
2.	Minimum landscaped open space			25%	
3.	Minimum width of a landscape buffer			3.0 m along Fourth Avenue, First Street, and Burbank Drive	
4.	Minimum yard			6.0 m along Fourth Avenue and Burbank Drive 4.0 m along First Street	
5.	Maximum yard			30.0 m along Fourth Avenue and First Street	
6.	Minimum distance between Buildings on the same lot			2.0 m	
7.	Maximum building height			9 storeys. Height is restricted to 3 storeys within 10 m of a street line	
8.	Ground level facades for all buildings facing, and within 30 m of Fourth Avenue and First Street shall include clear glazing along at least 70% of the combined length of such building facades.				
9.	Drive-thrus shall not be located in a yard abutting Fourth Avenue or First Street, except that a drive-thru for a bank only shall be permitted at the corner of First Street and Fourth Avenue, providing it meets the following design criteria:				
	a)	the drive-thru is designed with a portico attached to and forming part of the bank building.			
	b)	landscaping shall be provided as a visual screen for the drive thru from the public road.			
Note: Holding Provision H14 also applies to the subject lands					

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
31		R2	20, 26		Various	
1.	Permitted uses:		detached dwelling semi-detached dwelling duplex dwelling triplex dwelling fourplex dwelling any use, building or structure accessory to any of the above permitted uses			
2.	Regulations for a detached dwelling.					
	a)	Minimum parking: 2.0 spaces per dwelling unit shall be required, tandem parking is permitted				
	b)	Minimum landscaped open space 50% of the lot area				
	c)	Minimum landscape buffer: 3.0 m wide along the rear lot line, or 3.0 m along the interior side lot line where the lot has an exterior side yard on Glenridge Avenue.				
3.	Regulations for a semi-detached dwelling.					
	a)	Minimum parking			2.0 spaces per dwelling unit. Tandem parking is permitted.	
	b)	Minimum landscape buffer			3.0 m wide along the rear lot line, or, 3.0 m along the interior side lot line where the lot has an exterior side yard on Glenridge Avenue	
4.	Regulations for a duplex dwelling house					
	a)	Minimum parking			2.0 spaces per dwelling unit for rental units and 1.75 spaces for condominium units. Tandem parking is permitted.	
	b)	Minimum landscape buffer			3.0 m wide along the rear lot line, or, 3.0 m along the interior side lot line where the lot has an exterior side yard on Glenridge Avenue	
	c)	Maximum dwelling unit size			93 m ²	
5.	Regulations for a triplex dwelling					
	a)	Minimum parking			2.0 spaces per dwelling unit for rental units and 1.75 spaces for condominium units. Tandem parking is permitted.	
	b)	Minimum landscaped buffer			3.0 m wide along the rear lot line, or, 3.0 m along the	

Special Provision			Zone	Schedule A	Schedule B	Location	By-law
31			R2	20, 26		Various	
							interior side lot line where the lot has an exterior side yard on Glenridge Avenue
	c)	Minimum flanking yard					4.0 m
	d)	Maximum dwelling unit size					93 m²
6.	Regulations for a fourplex dwelling						
	a)	Minimum parking					2.0 spaces per dwelling unit shall be required for rental units and 1.75 spaces shall be required for condominium dwelling units. Tandem parking is permitted.
	b)	Minimum landscaped buffer					3.0 m wide along the rear lot line, or 3.0 m along the interior side lot line where the lot has an exterior side yard on Glenridge Avenue
	c)	Minimum exterior side yard					4.0 m
	d)	Maximum dwelling unit size					93 m²

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
32		A1	5, 11		1617 & 1627 North Service Road	
1.	Additional permitted uses:					
	a)	Cottage Winery to a maximum of 1,394 m²				
	b)	Farmer's Market to a maximum of 929 m²				
2.	Provisions for Cottage Winery and Farmers Market					
	a)	Minimum lot area: 6 ha				
	b)	Minimum lot frontage: 60 m				
	c)	Minimum side yard: 15 m				
	d)	Minimum front yard: 15 m				
	e)	Minimum exterior side yard: 15 m				
	f)	Minimum rear yard: 15 m				
	g)	Maximum height: 11 m				

	h)	Maximum lot coverage for all buildings: 3.7%
	i)	Parking: 1 space for every 19 m ² of gross leasable retail floor area.

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
33	A3	18		1535 Fourth Avenue	
Additional Permitted Use:					
1.	Detached dwelling – detached dwelling shall be subject to A1 provisions.				

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
34		A3 & A1	12, 13, 18, 19	11	1179 and 1215 Fourth Avenue	
1.	Additional permitted uses in Area 1 as shown on Schedule B11 Farm Market Retail Wine Sales Outlet					
2.	Provisions for Farm Market					
	a)	Minimum lot area: 0.4 ha				
	b)	Minimum lot frontage: 30 m				
	c)	Minimum side yard: 6 m				
	d)	Minimum front yard: 12 m				
	e)	Minimum flanking yard: 12 m				
	f)	Minimum rear yard: 7.5 m				
	g)	Maximum height: 14 m				
	h)	Maximum lot coverage for all building and structures: 30%				
	i)	Minimum parking requirement: 1 parking space for every 19 m² of gross leasable floor space.				
3.	Provisions for retail wine sales outlet					
	a)	Maximum floor area of retail wine sales outlet: 140 m²				
	b)	Minimum flanking yard: 10.6 m				
4.	Additional permitted uses in Area 2 as shown Schedule B11: Cottage Winery					
5.	Provisions:					
	a)	Maximum floor area of cottage winery: 186 m²				

Special Provision	Zone	Schedule A	Location	By-law
35	A2	17	2100 Seventh Street	
Permitted uses:				
1.	Agriculture uses			
2.	One detached dwelling only as an accessory use to a greenhouse			
For an agri-tourism use, the following provision shall apply:				
1.	Maximum floor area: 400 m² based on a minimum farm parcel size of 5.6 ha			

Special Provision	Zone	Schedule A	Location	By-law
36	A1	17, 18	1552 St. Paul Street West	
1.	Additional use – home industry without an agriculture use.			
2.	Provisions for home industry:			
	a)	Maximum gross leasable floor area of the accessory structure to be used for home industry: 232.3 m²		
	b)	Minimum parking spaces: 12		
	c)	Maximum full time non-resident employees: 3		
	d)	Maximum photography students: 2		

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
37		A3	18, 19	12	2403-2411 First Street Louth	
1.	Area 1 on Schedule B12					
	a)	Additional Permitted use: Precast Concrete Manufacturing Facility				
	b)	Provisions				
		i)	Minimum lot area: 0.4 ha			
		ii)	Minimum lot frontage: 30 m			
		iii)	Minimum side yard: 6 m			
		iv)	Minimum landscape buffer, north and south side yards: 6 m			
		v)	Minimum front yard: 12 m			
		vi)	Minimum rear yard: 7.5 m			
		vii)	Maximum height: 14 m			
		viii)	Maximum lot coverage for all building and structures excluding storage areas: 30%			
		ix)	Minimum parking requirement: 40 parking spaces			
2.	Area 2 on Schedule B12					
	a)	Additional Permitted Use: storage area for a concrete manufacturing facility				
	b)	Minimum landscape buffer North and south yards: 6 m West yard: 10 m				

Special Provision	Zone	Schedule A	Location	By-law
38	A3	25	2534 First Street Louth	
Additional Permitted use: retail store				

Special Provision	Zone	Schedule A	Location	By-law
39	A1	25	1165 Eighth Avenue	
Additional permitted use: 1) Two detached dwellings				

Special Provision	Zone	Schedule A	Location	By-law
40	R2	14	105 Westchester Crescent 80 Argyle Crescent	
Provisions for private road development				
1.	The front lot line shall be the lot line that divides the lot from Argyle Crescent			
2.	Minimum lot frontage (Argyle Crescent)		13.7 m	
3.	Minimum lot area		4100 m ²	
4.	Minimum front yard from private road to front facade of a garage		6.0 m	
5.	Minimum front yard from private road to front facade of dwelling		4.5 m	
6.	Minimum distance between end units		1.3 m; 0 m along common walls between units	
7.	Minimum rear yard		7.5 m	
8.	Minimum side yard where dwellings abut 74, 76, 78, 82, 84, 86 Argyle Crescent		1.2 m	
9.	Minimum parking		2.0 spaces per dwelling unit, one space shall be provided in a garage and the second space shall be provided in the driveway in front of the garage	
10.	Each dwelling unit shall have a garage			
11.	Minimum visitor parking		1.0 spaces for every 4 dwelling units or part thereof	
12.	No accessory buildings or structures shall be permitted within the minimum required rear yard			
13.	Maximum height		9.0 m	

Special Provision	Zone	Schedule A	Location	By-law
41	R3	15	16 Melbourne Street	
An apartment building and a recreation facility (indoor, or outdoor) shall be subject to the following requirements:				
1.	Maximum number of apartment dwelling units: 140			
2.	Maximum building height: 50 m			
3.	Minimum front yard for buildings over 3 storeys in height shall be 115 m			
4.	Minimum front yard for buildings under 3 storeys in height shall be 50 m			
5.	The indoor recreation facility shall have a minimum floor area of 1000 m²			
6.	Minimum side yard adjacent to Highway 406: 13.7 m			
7.	Side yard adjacent to Princess Park: 0 m			
8.	Rear yard : 0 m			
9.	Parking for recreation facility (indoor, or outdoor) shall be in accordance with Section 3 of this Zoning By-law			
10.	Minimum landscaped open space: 7.5%			

Special Provision	Zone	Schedule A	Location	By-law
42	R4	15	290 Oakdale Avenue	
Parking Provisions: 1.25 parking spaces for each dwelling unit				

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
43	R2	21	13	38 Lincoln Avenue	
1.	Additional permitted use on Areas A, B on Schedule B13: Apartment Building				
2	Provisions for an apartment building in Area A on Schedule B13				
	a)	Maximum building height: 3 storeys to a maximum of 11 m			
	b)	Minimum westerly yard: 15 m as shown on Schedule B13. Westerly yard other than that shown on Schedule B13 shall be in accordance with Section 5 of the Zoning By-law.			
3.	Area B on Schedule B13 is subject to the following special provisions:				
	a)	Minimum easterly side yard: 7.5 m or the height of the building, whichever is greater.			
4.	Minimum density for Areas A and B as shown on Schedule B13: 20 units per hectare.				

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
44		R2, G2	21	14	176 Oakdale Avenue	
1.	Area 1 on Schedule B14 is subject to the following provisions for semi-detached dwellings					
	Minimum lot area per dwelling unit				185 m ²	
	Minimum lot frontage per dwelling unit				5.5 m	
	Minimum side yard				0.9 m	
	Minimum front yard from Oakdale Avenue				3.0 m	
2.	Area 2 on Schedule B14 is subject to the following provisions for semi-detached dwellings					
	Minimum lot area per dwelling unit				170 m ²	
	Minimum lot frontage per dwelling unit				5.4 m	
	Minimum side yard				0.9 m	
	Minimum front yard from Oakdale Avenue				3.0 m	
3.	Area 3 on Schedule B14 is subject to the following provisions for semi-detached dwellings					
	Minimum lot area per dwelling unit				260 m ²	
	Minimum lot frontage per dwelling unit				12.4 m	
	Minimum side yard				0.9 m	
	Minimum front yard				1.5 m	
4.	For Area 3 on Schedule B14:					
	a)	Lot frontage shall be measured along the private common driveway				
	b)	Front yard shall be measured from the private common driveway				
5.	Despite Section 2.10 permitted encroachments shall not be permitted into the minimum side yard, except for eaves and gutters for Areas 1 and 2 on Schedule B14.					
6.	For Areas 1 and 2 on Schedule B14, all parking areas and garages shall be located between the rear lot line and the rear wall of the main building.					
7.	The lands identified as Area 4 on Schedule B14 and zoned G2 are subject to the following special provisions: Permitted uses: public or private park					
Note: Holding Provision H15 also applies to the subject lands.						

Special Provision	Zone	Schedule A	Location	By-law
45	R2	21	122 Oakdale Avenue	
A fourplex shall be subject to the following provisions:				
1.	Minimum lot area		820 m²	
2.	Minimum lot frontage on Oakdale Avenue		15 m	
3.	Minimum lot frontage on Smythe Street		4.5 m	
4.	Minimum front yard		6.0 m	
5.	Minimum rear yard		20 m	
6.	Minimum side yard		0.75 m	
7.	Minimum parking		1.5 spaces per rental unit (6 parking spaces). No accessible parking spaces are required.	
8.	Maximum lot coverage		30%	
9.	Minimum landscaped open space		40%	
10.	Minimum size of dwelling unit		37 m²	

Special Provision	Zone	Schedule A	Location	By-law
46	R3	21	41 Oakdale Avenue	
Provisions for detached, semi-detached, duplex and street townhouse dwellings:				
1.	Minimum front yard to front facade of garage		6.0 m from front lot line	
2.	Minimum front yard to front facade of dwelling		3.0 m from front lot line	
3.	Minimum exterior side yard		1.5 m from lot line (Oakdale Avenue) 2.0 m from lot line (Elm Street road allowance)	
4.	Maximum width of front yard parking		3.1 m or half the width of the street townhouse dwelling unit, whichever is greater.	
Note: Holding Provision H1 also applies to the subject lands.				

Special Provision	Zone	Schedule A	Location	By-law
47	R3	15	40 Woodburn Avenue	
Provisions for apartment building				
1.	Minimum lot frontage		10 m	
2.	Minimum yard from the Municipal Golf Course		6 m	
3.	Minimum northerly side yard		10 m	
4.	Minimum rear yard (west)		13.5 m	
5.	Minimum landscape buffer		4 m along side and rear lot lines abutting an R2 zone	
6.	Balconies		Balconies shall be permitted to encroach 1.2 m into any required yard.	
7.	A retirement dwelling shall be permitted			
8.	Density per hectare:		No maximum number of dwelling units	
Note: Holding Provision H8 also applies to the subject lands.				

Special Provision	Zone	Schedule A	Location	By-law
48	M1	14	132 Lake Street	
For an apartment building, the following provisions shall apply:				
1.	Minimum lot area		760 m²	
2.	Minimum lot frontage		15.0 m	
3.	Minimum front yard		0.0 m	
4.	Minimum side yard		North – 0.09 m South – 3.9 m	
5.	Minimum rear yard		7.5 m	
6.	Maximum lot coverage		25%	
7.	Minimum landscaped open space		25%	
8.	Minimum number of parking spaces		7	
9.	Minimum dwelling unit area		55.7 m²	

Special Provision	Zone	Schedule A	Location	By-law
49	R2	14	26½ George Street	
For a triplex dwelling the following provisions shall apply:				
1.	Minimum lot area		140 m²	
2.	Minimum lot frontage		7.9 m	
3.	Minimum front yard		0.3 m	
4.	Minimum side yard		North – 0 m South – 0 m	
5.	Minimum rear yard		1.2 m	
6.	Maximum lot coverage		90%	
7.	Minimum landscape open space		0%	
8.	Minimum number of parking spaces		0	

Special Provision	Zone	Schedule A	Location	By-law
50	E1	15	141 Eastchester Avenue	
Additional permitted uses: Service Commercial as a principal use. Service Commercial uses shall comply with the C2 provisions of this By-law				

Special Provision	Zone	Schedule A	Location	By-law
51	R2	15	63 Vine Street South	
Additional permitted use: One 9 unit apartment building				
1.	Minimum lot area		1.2 ha	
2.	Minimum lot frontage		25 m	
3.	Maximum building height		8.5 m	
4.	Minimum parking		1.65 parking spaces per unit	
5.	Minimum rear yard		5.0 m	
6.	Minimum side yard		North side – 1.2 m East side – 3.3 m South side – 11.0 m	
7.	Maximum lot coverage		38%	
8.	Maximum parking area coverage		44%	
9.	Minimum landscaped open space		18%	

Special Provision		Zone	Schedule A	Location	By-law
52		R2	14	25 Ottawa Street	
1.	Additional permitted use: apartment building				
2.	Provision for apartment building				
	a)	Maximum number of dwelling units		11	
	b)	Minimum lot area		590 m ²	
	c)	Minimum lot frontage		14 m	
	d)	Minimum front yard		12 m to the front lot line	
	e)	Minimum side yard		3 m east 1.6 m west	
	f)	Minimum rear yard		2.3 m	
	g)	Maximum lot coverage		40%	
	h)	Maximum building height		2 storeys	
	i)	Minimum parking		5 spaces	
	j)	Minimum landscape buffer		2.1 m width	

Special Provision		Zone	Schedule A	Location	By-law
53		R3	14	15 Gibson Place	
Additional permitted use: accessory office					

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
54	R3	14, 15	15	7 Gibson Place	
Private Road Development shall be subject to the following:					
1.	Maximum number of dwelling units			42	
2.	Minimum lot area			1.1 ha	
3.	Minimum lot frontage (Gibson Place)			19 m	
4.	Building setbacks shall be in compliance with the building envelopes shown on Schedule B15				
5.	Maximum lot coverage			40%	
6.	Minimum landscaped open space			35%	
7.	Minimum number of parking spaces			2.0 spaces per dwelling unit. One parking space shall be provided in a garage and the second space shall be provided in the driveway in front of the garage	
8.	Each dwelling unit shall have a garage				
9.	Maximum building height			Two (2) storeys to a maximum of 7.6 m	
10.	Maximum attached units			8 units	

Special Provision	Zone	Schedule A	Location	By-law
55	R2	14	20 Norris Place	
No parking shall be required.				

Special Provision	Zone	Schedule A	Location	By-law
56	R2	14	14 Norris Place	
<ul style="list-style-type: none">• Additional permitted use: apartment building• Parking: 1 space per apartment dwelling unit				

Special Provision	Zone	Schedule A	Location	By-law
57	R4	14	77 Yates Street	
1.	Additional Use: Apartment Building			
	a)	Minimum front yard	0.9 m from the front property line on Yates Street	
	b)	Minimum side yard	0.9 m (north side); 1.5 m (south side)	
	c)	Maximum number of dwelling units	35 units	
	d)	Maximum lot coverage	39%	

Special Provision	Zone	Schedule A	Location	By-law
58	R4	13, 14	Former Hotel Dieu Site	
1.	Additional permitted uses only in conjunction with a residential use <ul style="list-style-type: none">• Office• Retail store• Service commercial• Indoor recreation Above uses only permitted on the ground floor.			
2.	Density: 60 to 198 units per ha			

Special Provision	Zone	Schedule A	Location	By-law
59	R4	14	1 to 39 Durksen Drive	
Street townhouse dwellings shall be subject to the following:				
1.	Maximum attached dwellings units		8	
2.	Minimum lot area		90 m²	
3.	Minimum lot frontage		4.5 m at the front lot line	
4.	Minimum front yard		2 m to the dwelling unit 6m to the garage	
5.	Minimum side yard		1 m except that a common wall may be centred on the side lot line	
6.	Minimum rear yard		2 m (abuts Ontario Street)	
7.	Minimum exterior side yard		1.0 m	
8.	Maximum building height		12 m	
9.	Minimum parking requirement		2.0 spaces per dwelling unit (tandem parking is permitted)	
10.	Maximum lot coverage		70%	
11.	Maximum front yard driveway coverage		70%	

Special Provision	Zone	Schedule A	Location	By-law
60	R2	16	Waterways Estates	
For Detached Dwellings: Minimum interior side yard - 1 m Minimum Lot Area – 270 m²				

Special Provision	Zone	Schedule A	Location	By-law
61	R3	16	59 to 86 Mackenzie King Blvd 29 to 45 Howland Drive	
Density per hectare -Minimum 23 units -Maximum 99 units				

Special Provision		Zone	Schedule A	Schedule B	Location		By-law
62		R3	22	16	527A Glendale Avenue		
1.	Minimum number of units as shown on Schedule B16				Area 1 = 24 Area 2 = 8 Area 3 = 20		
2.	Detached Dwellings are subject to the following provisions:						
	a)	Minimum lot area			270 m ²		
	b)	Minimum lot frontage			11.0 m		
	c)	Minimum front yard from the <ul style="list-style-type: none">Front facade of the garageFront facade of the dwelling unit			6.0 m 3.0 m		
	d)	Minimum rear yard <ul style="list-style-type: none">Lots with a depth of less than or equal to 29.0 m = 6.0 mLots with a depth greater than 29.0 m = 7.5 m					
	e)	Minimum exterior side yard			3.0 m		
	f)	Minimum interior side yard			1.2 m		
	g)	Maximum lot coverage			50%		
	h)	Maximum building height			11.0 m		
	i)	Minimum number of parking spaces			2 spaces per dwelling unit		
3.	Street Townhouse Dwellings are subject to the following provisions:						
	a)	Minimum lot area per dwelling unit			208 m ²		
	b)	Minimum lot frontage per dwelling unit			7.0 m		
	c)	Minimum front yard from the <ul style="list-style-type: none">Front facade of the garageFront facade of the dwelling unit			6.0 m 3.0 m		
	d)	Minimum rear yard			6.0 m		
	e)	Minimum exterior side yard			3.0 m		
	f)	Minimum interior side yard			1.2 m		
	g)	Minimum separation between two interior side walls			2.4 m		
	h)	Maximum building height			11.0 m		
	i)	Maximum lot coverage			50%		
	j)	Maximum number of attached dwelling units			7		

Special Provision		Zone	Schedule A	Schedule B	Location		By-law
62		R3	22	16	527A Glendale Avenue		
	k)	Minimum number of parking spaces			2 spaces per dwelling unit		
4.	Provisions for Private Road Development						
	a)	Minimum yards					
		i)	Setback from north lot line 6.0 m to the rear of a dwelling unit and 3.0 m to the side of a dwelling unit				
		ii)	Setback from south lot line 6.0 m to the rear of a dwelling unit and 3.0 m to the side of a dwelling unit				
		iii)	Setback from east lot line 6.0 m to the rear of the dwelling unit, 6.0 m to the front of the dwelling unit, 3.0 m to the side of a dwelling unit, 6.0 m to the front of a garage				
		iv)	Setback from west lot line 6.0 m to the rear of a dwelling unit, 3.0 m to the side of dwelling unit				
	b)	Minimum width of a dwelling unit			6.6 m		
	c)	Building Separation					
		i)	Between two side walls		2.4 m		
		ii)	Rear wall to side wall		9.0 m		
		iii)	Rear wall to rear wall		12.0 m		
	d)	Maximum lot coverage			40%		
	e)	Minimum landscaped open space			35%		
	f)	Maximum building height			11.0 m		
	g)	Minimum number of parking spaces			2 spaces per dwelling unit		
	h)	Maximum garage width			Not to exceed 50% of the width of the dwelling unit		
5.	Provisions for Apartment Building						
	a)	Minimum frontage			65.0 m		
	b)	Maximum height			13.0 m and a height of 4 storeys		

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
63	E2	22	17	475-497 Glendale Avenue	
Areas 1, 2, 3, 4 and 5 on Schedule B17 are subject to the following special provisions:					
1.	A 3.0 m wide landscape buffer shall be provided on those areas shown on Schedule B17				
2.	Minimum building setback in a rear yard which abuts a residential zone – 15.0 m				
3.	Minimum building setback in a side yard which abuts a residential zone – 9.0 m				
4.	Outside storage of equipment, vehicles, goods and materials shall be prohibited within any side or rear yard abutting residential uses				

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
64	M1	21	18	79 Hartzel Road	
1.	Enclosed outdoor storage shall be permitted in the south west-corner of the property identified as “Area A” on Schedule B18.				
2.	A side yard setback of 5.0 m from the western property line shall be required.				
3.	A side yard setback of 2.0 m shall be required as shown on Schedule B18.				
4.	No landscape buffer shall be required in “Area A” and “Area B” on Schedule B18.				
5.	An accessory structure within “Area A” on Schedule B18 shall not be located within 0.5 m of the main building.				

Special Provision	Zone	Schedule A	Location	By-law
65	R3	22	116-118 Woodrow Street	
Apartment buildings shall be subject to the following:				
1.	Minimum front yard		9 m	
2.	Minimum rear yard		5 m	
3.	Minimum southerly side yard		4 m	
4.	Minimum landscaped open space		40%	
5.	Minimum landscape buffer		2.3 m along the front lot line (Woodrow Street)	
6.	Maximum building height		12 m	
7.	Balconies shall be permitted to encroach into a required side yard but may not project more than 1.5 m.			

Special Provision	Zone	Schedule A	Location	By-law
66	M1	21, 22	Various	
1.	Non-residential uses shall not be subject to the parking provisions set out in Section 3.12.2. of this By-law.			
2.	Minimum front yard		0 m	
3.	Minimum exterior side yard		0 m	

Special Provision	Zone	Schedule A	Location	By-law
67	M1	22	45 Merritt Street	
Additional Permitted Use: Paper manufacturing provided the use complies with the zone provisions of the General Employment (E2) Zone and shall include the right for the existing use of the site to undergo internal conversions and external additions in order to provide for a paper converting facility and related warehouse space. Recycling operations or a recycling depot shall not be permitted. The processing or assembly of any item involving the use of any machine is prohibited unless it is conducted within a wholly enclosed building.				
Note: Special Provision 112 and Holding Provision H1 also applies to the lands.				

Special Provision	Zone	Schedule A	Location	By-law
68	C2	21	300 Glendale Avenue	
1.	Minimum number of parking spaces			One space per 29 m² of GFA
2.	Minimum side yard abutting the rear lot lines of 19 and 21 Mountain Street			6 m
3.	Minimum side yard abutting the side lot line of 19 Mountain Street			9 m
4.	Minimum landscaped buffer abutting residentially zoned lands fronting on Mountain Street			5 m
5.	Minimum landscape open space			12%
6.	Maximum building coverage (including garden centre)			28%
7.	Minimum rear yard			3 m
Note: Special Provision 112 also applies.				

Special Provision	Zone	Schedule A	Location	By-law
69	C3	13	318A Ontario Street	
1.	This property is exempt from Section 2.6 of this By-law.			
2.	The front lot line shall be deemed to be the westerly lot line running parallel to Ontario Street.			

Special Provision	Zone	Schedule A	Location	By-law
70	R3	13	41 Carlton Street	
Despite Section 2.3 of this By-law a maximum of two detached dwellings shall be permitted on one lot.				

Special Provision	Zone	Schedule A	Location	By-law
71	C1	14	279 Lake Street	
Provisions: Minimum parking – 6 spaces which may be in tandem Uses: One detached dwelling in addition to C1 uses. The Detached dwelling shall be subject to the requirements of Section 5.4 of this By-law..				

Special Provision	Zone	Schedule A	Location	By-law
72	C2	14	2 Dunlop Drive	
Additional Uses Permitted: Hotel/Motel				

Special Provision	Zone	Schedule A	Location	By-law
73	R3	14	112 York Street	
Minimum number of parking spaces required: 1 parking space				

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
74	R3	7	19	6-10 Dalhousie Avenue	
Area “A”, Area “B” and Area “C” on Schedule B19 shall be subject to the following special provisions:					
1.	Permitted use			1 single detached dwelling and 1 apartment building	
2.	Maximum number of dwelling units			16	
3.	Minimum lot area			0.2 ha	
4.	Minimum lot frontage			74 m	
5.	Minimum front yard			1.5 m	
6.	Minimum side yard			East – 1.5 m West – 0.9 m	
7.	Minimum rear yard for: <ul style="list-style-type: none">• Single detached dwelling• Condominium Apartment Building			7.5 m 5.0 m	
8.	Maximum height: An elevator, mechanical room, and hallway measuring no greater than 8 m by 10 m at the south east corner of the apartment shall not exceed:			9.0 m 12.4 m	
9.	Maximum lot coverage			45%	
10.	Minimum landscape open space			40%	
11.	Minimum parking			1.5 spaces per dwelling unit	
Note: Holding Provision H13 also applies to the subject lands.					

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
75		R3	4	20	39 Bromley Drive	
1.	Provisions for Single Detached Dwellings in Area A and Area B shown on Schedule B20.					
	a)	Minimum lot area			269 m²	
	b)	Minimum lot frontage			9.1 m	
	c)	Minimum front yard to front facade of garage			6.0 m from front lot line	
	d)	Minimum front yard to front facade of building			3.0 m from front lot line	
	e)	Minimum side yard			1.2 m	
	f)	Minimum rear yard			6.0 m 10 m from any industrial zone	
	g)	Minimum exterior side yard			3.0 m front lot line	
	h)	Maximum building height			11 m 5.5 m (one storey) on lots abutting an employment zone	
	i)	Maximum lot coverage			45%	
	j)	Minimum parking requirement			2.0 spaces per dwelling unit. Tandem parking shall be permitted.	
	k)	Attached garages shall not project beyond the front facade of the dwelling.				
	l)	A 1.0 m landscape buffer shall be required along the easterly boundary of Area “A” on Schedule B20.				
2.	For Area B on Schedule B20, an apartment building and buildings accessory thereto are subject to the following special requirements.					
	a)	Minimum lot area			0.45 ha	
	b)	Minimum lot frontage			36 m	
	c)	Minimum yards			North – 7.5 m South – 15.6 m West – 16.5 m East – 12 m	
	d)	Maximum lot coverage			35%	
	e)	Minimum landscaped open space			35%	
	f)	Minimum parking			1.75 spaces per dwelling unit	

Special Provision			Zone	Schedule A	Schedule B	Location		By-law
75			R3	4	20	39 Bromley Drive		
	g)	Maximum building height					16.5 m	
3.	Area “C” on Schedule B20 may be used for parking for the apartment building located on Area “B” as shown on Schedule B20.							

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
76		R2	3, 4	21	2 to 8 Parkside Drive (even numbers only) 42 to 92 Parkside Drive 1 to 25 Moes Crescent	
1.	Area 1 on Schedule B21 is subject to the following provisions:					
	a)	Maximum lot coverage for accessory uses			15%	
	b)	Minimum exterior side yard			3.0 m	
	c)	Tandem parking may be permitted				
2.	Area 2 on Schedule B21 is subject to the following provisions:					
	a)	Permitted uses			Detached Dwellings and accessory uses only	
	b)	Minimum lot frontage			13.0 m	
	c)	Minimum lot area			333.0 m²	
	d)	Maximum lot coverage			50%	
	e)	Minimum front yard to front facade of a garage			6.0 m	
	f)	Minimum front yard to front facade of dwelling			3.0 m	
	g)	Minimum side yard			1.2 m	
	h)	Minimum rear yard			5.0 m	
	i)	Minimum parking			2.0 spaces per dwelling unit shall be provided; tandem parking may be permitted.	
3.	Area 4A on Schedule B21 is subject to the following:					
	a)	Permitted uses			Detached Dwellings and accessory uses only	
	b)	Minimum lot frontage			10.0 m	
	c)	Minimum lot area			290 m²	
	d)	Maximum lot coverage			50%	
	e)	Minimum front yard to front facade of garage			6.0 m	
	f)	Minimum front yard to front facade of dwelling			3.0 m	
	g)	Minimum side yard			1.2 m	
	h)	Minimum exterior side yard			3.0 m	
	i)	Minimum setback from a private road			3.0 m	

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
76		R2	3, 4	21	2 to 8 Parkside Drive (even numbers only) 42 to 92 Parkside Drive 1 to 25 Moes Crescent	
	j)	Minimum rear yard			6.0 m	
	k)	Minimum parking			2.0 spaces per dwelling unit shall be provided; tandem parking may be permitted.	
4.	Area 4B on Schedule B21 is subject to the following:					
	a)	Permitted uses			Detached Dwellings and accessory uses only	
	b)	Minimum lot frontage			10.0 m	
	c)	Minimum lot area			290.0 m²	
	d)	Maximum lot coverage			50%	
	e)	Minimum front yard to front facade of garage			6.0 m	
	f)	Minimum front yard to front facade of dwelling			3.0 m	
	g)	Minimum side yard			1.2 m	
	h)	Minimum exterior side yard			3.0 m	
	i)	Minimum rear yard			6.0 m	
	j)	Maximum height			11 m except that within 29.0 m of the east boundary of Area 4B, the maximum height shall be 5.5 m (1 storey)	
	k)	Minimum parking			2.0 spaces per dwelling unit shall be provided; tandem parking may be permitted.	
	l)	A 1.0 m landscape buffer shall be required along the east boundary of Area 4B				
5.	Area 6A on Schedule B21 is subject to the following:					
	a)	Permitted uses			Private road development	
	b)	Minimum private road frontage per dwelling unit			10.0 m	
	c)	Maximum number of attached units			6	
	d)	Minimum setback from a private road to the garage			6.0 m	
	e)	Minimum setback from a private road to the main facade of the dwelling			3.0 m	

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
76		R2	3, 4	21	2 to 8 Parkside Drive (even numbers only) 42 to 92 Parkside Drive 1 to 25 Moes Crescent	
	f)	Minimum setback from a public road to the dwelling			3.0 m	
	g)	Minimum setback from the west boundary of Area 6A			15.1 m	
	h)	Minimum setback from the south boundary of Area 6A			3.0 m	
	i)	Minimum setback from the east boundary of Area 6A			6.0 m	
	j)	Minimum distance between the rear wall facades of two dwellings			12.0 m	
	k)	Maximum height			11.0 m, except that within 10.0 m of the south boundary of Area 6A, the maximum height shall be 5.5 m (1 storey)	
	l)	Minimum parking			2.0 spaces per dwelling unit, one space shall be provided in a garage. Tandem parking is permitted.	
	m)	Maximum parking area per dwelling unit			A parking area for each dwelling unit shall not exceed 3.5 m in width	
	n)	Each pair of dwelling units shall have their driveways immediately adjacent to one another				
	o)	Minimum landscaped open space			25%	
	p)	A 3.0 m landscape buffer shall be required along the south boundary of Area 6A				
6.	Area 6B on Schedule B21 is subject to the following:					
	a)	Permitted uses			Private Road Development	
	b)	Minimum private road frontage per dwelling unit			10.0 m	
	c)	Minimum number of attached units			6	
	d)	Minimum setback from a private road to the garage			6.0 m	
	e)	Minimum setback from a private road to the main facade of the dwelling			3.0 m	
	f)	Minimum setback from a public road to the dwelling			3.0 m	

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
76		R2	3, 4	21	2 to 8 Parkside Drive (even numbers only) 42 to 92 Parkside Drive 1 to 25 Moes Crescent	
	g)	Minimum setback from the southernmost boundary of Area 6B (where it abuts 58 Broadway)			3.0 m	
	h)	Minimum setback from Area 7 on Schedule B21			0.0 m	
	i)	Minimum setback from the east boundary of Area 6B			6.0 m	
	j)	Minimum distance between the rear wall facades of two townhouse dwellings			12 m	
	k)	Maximum height			11 m, except that a) within 10.0 m of the south boundary of Area 6B the maximum height shall be 5.5 m (1 storey) and b) within 34.0 m of the east boundary of Area 6B, the maximum height shall be 5.5 m (1 storey)	
	l)	Minimum parking			2.0 spaces per dwelling unit, one space shall be provided in a garage. Tandem parking is permitted.	
	m)	Maximum parking area per dwelling unit			A parking area for each dwelling unit shall not exceed 3.5 m in width	
	n)	Each pair of dwelling units shall have their driveways immediately adjacent to one another				
	o)	Minimum landscape open space			25%	
	p)	A 1.0 m landscape buffer shall be required along the east boundary and southern most boundary only of Area 6B (where it abuts 58 Broadway).				

Special Provision	Zone	Schedule A	Location	By-law
77	R1	3	237 Lakeshore Road	
Additional Permitted Use: Office				

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
78	C2	15, 16	22	189, 193 Dieppe Road 185, 189, 191 Bunting Road	
1.	The following shall apply <ul style="list-style-type: none">Bunting Road shall be defined as the lot frontageDieppe Road shall be defined as the exterior side yard				
2.	Despite any provision of this By-law to the contrary all provisions shall be interpreted on the basis of the lands outlined on Schedule B22 hereto as being the “lot”, and the outer boundary of the lands identified in Schedule B22 hereto, as being the “lot lines”. Any existing lot lines internal to the outer boundary of the lands identified on Schedule B22 hereto, shall not be considered lot lines for the purposes of this special provision.				
3.	Maximum lot coverage – 35%				
4.	Minimum landscaped open space – 17% (Landscaped open space means any space used for the growth and maintenance of grass, flowers, shrubs, or similar landscape material and includes, walkways, patios, inground swimming pools, playgrounds, and similar facilities but excludes driveways, parking areas, ramps, retaining walls, and curbs).				
5.	Minimum width of a landscape buffer <ul style="list-style-type: none">6.0 m along Dieppe Road6.0 m along Bunting Road				
6.	Despite the minimum width of a landscape buffer along Bunting Road, buildings shall be permitted to encroach into the landscape buffer up to 3.0 m (3.0 m from the front lot line) up to a maximum of 40% of the lot frontage.				
7.	Despite Section 3 of this By-law, there shall be no minimum parking space requirement.				
	Maximum parking – 1 parking space for every 19 m² of gross leasable floor area Minimum setback from north lot line – 2.0 m Minimum setback from west lot line – 5.0 m				
8.	Despite the C2 zone provisions any one use may occupy up to 45% total ground floor area.				
9.	Total maximum gross floor area 32,500 m²				
Note: Holding Provision H2 also applies to the lands.					

Special Provision	Zone	Schedule A	Location	By-law
79	M1	15, 16	525 Welland Avenue	
Despite the M1 zone provisions:				
1.	Maximum total non-residential gross floor area shall be 37,150 m ²			
2.	Provisions for maximum combined gross floor area do not apply.			

Special Provision	Zone	Schedule A	Location	By-law
80	C1	15	355, 357 and 359 Carlton Street	
1.	Minimum parking		1 space per 22.5 m ² GFA	
2.	Minimum number of commercial units		4	
3.	Maximum GFA per commercial unit		278 m ²	
4.	Maximum total commercial GFA		1950 m ²	
5.	Minimum northerly yard landscape buffer		1 m	
6.	Minimum landscape buffer all other yards		3 m	

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
81	R3	10, 16	23	583 Welland Avenue	
1.	Minimum yard from Welland Avenue			11 m	
2.	Minimum landscape buffer			4 m along Welland Avenue frontage. The definition of landscape buffer for the purpose of this site shall include vegetative plantings of a height which will collectively provide a continuous and complete visual barrier along Welland Avenue.	
3.	For the lands identified as Area 2 on Schedule B23 Apartments shall be subject to the following provisions:				
	a)	Minimum yard from Welland Avenue		11 m	
	b)	Minimum front yard from other streets		6 m	
4.	Accessory Uses			Uses common to all dwelling units including, but not limited to, place of worship, indoor recreation facility, retail store, service commercial, and office within the apartment building shall be permitted. Total accessory use shall not exceed 300m², gross leasable floor area.	
5.	Accessory Structures				
	In Area 2, no accessory structures shall be permitted within the required yard along Welland Avenue, with the exception of one gazebo as a common amenity feature for an apartment, and private road development providing it maintains a minimum 4 metre setback from Welland Avenue.				

Special Provision	Zone	Schedule A	Location	By-law
82	R3	15	Various Queenston Street	
1.	For lots fronting on Queenston Street – retail stores, service commercial, office on ground floor with residential uses shall be permitted in addition to the uses allowed in the R3 zone.			
2.	Minimum setback from Queenston Street:		3 m for first 3 stories/11 m 5 m for each additional storey	
3.	Maximum setback from Queenston Street:		4.5 m for the first 3 stories/11 m 6 m for each additional storey	
4.	Maximum height:		6 stories/20 m 12 stories/40 m when a minimum of 75% of required parking is provided underground.	

Special Provision	Zone	Schedule A	Location	By-law
83	M1	19, 20	6 Great Western Street	
1.	Despite the provisions of Section 8 to the contrary, the lands shall be permitted to be used for the existing rail station and associated uses providing the use complies with the zone provisions of the M1 Zone and shall include the right for the existing use of the site to undergo internal conversions in order to provide for the rail station and associated use.			
2.	M1 Zone uses shall be permitted in the existing buildings without removing the Holding (H) provision.			
Note: Special Provision 118 and Holding Provision H6 also apply to the lands				

Special Provision	Zone	Schedule A	Location	By-law
84	M1	21, 22	Various Merritton Mixed Use	
1.	Ground floor dwelling units not permitted.			
2.	Retail stores are permitted on upper floors only in conjunction with a ground floor commercial use.			

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
85	A1	19	24	2360 First Street Louth	
Additional Use:					
1.	A Place of Worship serviced by private servicing systems (private well/cistern and private septic system) shall be permitted on the lands identified as Areas 1 and 2 on Schedule B24 attached hereto and forming part of By-law				
2.	Provisions				
	a)	Maximum building coverage		5%	
	b)	Maximum height		18.0 m	
	c)	Exterior side yard		19.0 m from First Street Louth property line 34.0 m, if the exterior side yard is located within 100 m of Rykert Street property line	
	d)	Front Yard		50.0 m from Rykert Street property line	
	e)	Landscape buffer		40.0 m along Rykert Street property line 5.0 m along First Street Louth property line	
	f)	Minimum parking		1 space per 5 persons seating capacity	
	g)	Minimum rear yard		18.0 m	
	h)	Minimum interior side yard		18.0 m	

Special Provision	Zone	Schedule A	Location	By-law
86	A1	6	1230 Old Martindale Road	
Additional permitted use: The existing Place of Worship on the existing lot of record as of the date of the passing of this By-law.				

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
87	R1, R3	8	25	2 White Street 307 & 309 Scott Street	
Additional permitted use:					
1.	A private road development on Area 1 & 2 on Schedule B25 shall be subject to the following: In addition to the permitted uses of the Third Density Residential (R3) zone, multiple attached townhouse dwellings shall be permitted in Areas 1 and 2 subject to the following provisions:				
	a)	Multiple attached townhouse dwellings shall be defined as a building divided vertically into three or more dwellings units, up to a maximum of seven dwelling units each having an independent entrance fronting onto a private road.			
	b)	Minimum lot frontage on Scott Street		280 m	
	c)	Minimum setback from the rear of a dwelling unit to the closest lot line:		7.0 m	
		Minimum setback for dwelling units abutting the westerly lot line south of Wynn Street		5.0 m	
	d)	Minimum setback from the side of an end unit to the closest lot line		3.0 m	
	e)	Minimum setback from Scott Street		5.0 m	
	f)	Minimum setback from private road		3.0 m to the front facade of the dwelling unit and 6.0 m to an attached garage	
	g)	Maximum building height		10.67 m	
	h)	Minimum parking required		2 parking spaces per dwelling unit Tandem parking shall be permitted	
2.	a)	Minimum density		25 units per hectare	
	b)	Maximum density		99 units per hectare	
3.	Apartment building dwelling units existing prior to the passing of this By-law, within Area 2 only, shall provide 0.5 parking spaces per dwelling unit.				
4.	Apartment buildings shall be subject to the following provisions:				
	Maximum height			13.0 m and a maximum of 4 storeys	

Special Provision	Zone	Schedule A	Location	By-law
88	E1	13	210 Martindale Road	
A restaurant shall be permitted with a maximum gross leasable floor area of 307 m ² , provided that:				
1.	A minimum of 73 parking spaces are provided on the lot.			

Special Provision	Zone	Schedule A	Location	By-law
89	R3	9	413 Linwell Road	
Additional permitted uses: A seniors wellness centre, hair dressing salon, and meal services as accessory uses that may cater to clientele that do not live on site. subject to the following special provisions:				
1.	For the purposes of this by-law a seniors wellness centre shall be defined as providing services intended for the general betterment of senior's health including but not limited to: physician, eye examination, dental, x-ray, pharmacy, laboratory services, physiotherapy, massage therapy, yoga, tai chi, foot care. The services may be provided for off-site clientele.			
2.	Maximum floor area of seniors wellness centre – 371 m ²			
3.	Maximum floor area of hairdresser – 46.5 m ²			

Special Provision	Zone	Schedule A	Location	By-law
90	R2	7	38 Dalhousie Avenue	
Additional permitted use: A dental office home based business subject to the following special provisions:				
1.	One additional employee who does not reside in the dwelling shall be permitted.			
2.	Minimum parking – 3 spaces outside of a garage.			

Special Provision	Zone	Schedule A	Location	By-law
91	C5	14	198 St. Paul Street	
Apartment dwelling units and apartment buildings shall not be permitted				

Special Provision	Zone	Schedule A	Location	By-law
92	Varies	14	Downtown Parking Exemption	
Exempt from the parking requirements of Sections 3.12.1, 3.12.2 and 3.15 of this By-law.				

Special Provision	Zone	Schedule A	Location	By-law
93	Varies	14	Downtown Residential Parking Exemption	
Exempt from the parking requirements of Section 3.12.1 and 3.15 of this By-law.				

Special Provision	Zone	Schedule A	Location	By-law
94	C5, C6	14	198 St. Paul Street 250 St. Paul Street 55 McGuire Street	
Exempt from Section 6.5 of this By-law.				

Special Provision	Zone	Schedule A	Location	By-law
95	R1	7	81 Cecil Street	
A detached accessory dwelling unit shall be permitted as an additional permitted use for a period of 10 years from July 25, 2011 and shall be subject to the requirements of Section 2.2.2 of this By-law.				

Special Provision		Zone	Schedule A	Location	By-law
96		R1	2	58 Simpson Road	
1.	Permitted uses:			Private road development, detached dwellings and townhouse dwellings. A maximum of 12 dwelling units are permitted which shall not include more than 8 townhouse dwelling units.	
2.	Minimum lot area			0.6 ha	
3.	Minimum landscaped open space			40%	
4.	Maximum building height			7.5 m	
5.	Minimum yard requirements: From northerly property line			3.0 m for detached dwellings and 6.0 m for townhouse dwellings	
	From easterly property line			7.5 m	
	From southerly property line			3.0 m for detached dwellings and 6.0 m for townhouse dwellings	
	From westerly property line (Simpson Road)			4.5 m	
6.	Building setback from the back of curb of a private street			3.5 m to any dwelling unit; and 6.0 m to any garage, except for the easterly end wall of townhouse dwelling which shall have a minimum garage setback of 4.0 m	
7.	Minimum separation between detached dwellings			2.4 m	
8.	Fencing			Fencing shall not be permitted in the westerly side yard abutting Simpson Road. The maximum height of any perimeter fencing shall be 1.8 m. Where a fence is located atop or abutting a retaining wall, the maximum height of said fence shall be 1.2 m.	
9.	Minimum parking requirement			2.0 spaces per dwelling unit. Tandem parking is permitted where both spaces are for the exclusive use of one dwelling unit.	
10	Visitor parking			0.4 spaces per unit.	

Special Provision	Zone	Schedule A	Location	By-law
97	A1	6, 12	1406 Third Street Louth	
A golf driving range with a driving range pro shop building and accessory building shall be permitted for a temporary period of 3 years from April 18, 2011, subject to the following provisions:				
1.	Maximum number of driving range pro shop buildings		1 (to be provided in existing barn)	
2.	Maximum number of accessory buildings (storage shed)		1	
3.	Maximum floor area of driving range pro shop building		350 m²	
4.	Maximum floor area of the accessory building		93 m²	
5.	That parking be provided at the rate of one space for each tee box provided and one additional space be required for employee parking			

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
98		R3	13	26	1042 Vansickle Road North 2 – 25 Tuscany Court	
1.	That the lands identified as Area 1 on Schedule B26 attached hereto and forming part of this By-law permit detached dwellings only, subject to the following provisions:					
	a)	Minimum lot frontage			12.5 m	
	b)	Minimum lot area			500 m²	
	c)	Maximum lot coverage			50%	
	d)	Minimum front yard			6.0 m	
	e)	Minimum rear yard			7.5 m	
	f)	Minimum side yard			1.2 m for one and two storey dwellings	
	g)	Minimum flanking yard from Vansickle Road North			4.8 m	
	h)	Maximum building height			11.0 m	
	i)	Minimum landscaped open space			30%	
	j)	Minimum parking requirement			2 tandem spaces per dwelling unit	
	k)	Garages shall not project beyond the facade of the dwelling.				
2.	That the lands identified as Area 2 on Schedule B26 attached hereto and forming part of this By-law, permit semi-detached dwellings only, subject to the following provisions:					
	a)	Minimum lot frontage per unit			10.0 m	
	b)	Minimum lot area per unit			335 m²	
	c)	Maximum lot coverage per dwelling unit			50%	
	d)	Minimum front yard			6.0 m	
	e)	Minimum rear yard			7.5 m	
	f)	Minimum side yard			1.2 m for one and two storey dwellings	
	g)	Maximum building height			11.0 m	
	h)	Minimum landscaped open space			30%	
	i)	Minimum parking requirement			2 tandem spaces per unit	
	j)	Garages shall not project beyond the front facade of the building.				

Special Provision		Zone	Schedule A	Schedule B	Location	By-law
98		R3	13	26	1042 Vansickle Road North 2 – 25 Tuscany Court	
3.	That the lands identified as Area 3 on Schedule B26 attached hereto and forming part of this By-law permit townhouse dwellings only, subject to the following provisions:					
	a)	Minimum lot frontage per unit			9.5 m	
	b)	Minimum lot area per dwelling unit			335 m²	
	c)	Maximum lot coverage per dwelling unit			50%	
	d)	Minimum front yard			6.0 m	
	e)	Minimum rear yard			7.5 m	
	f)	Minimum side yard			1.2 m for one and two storey dwellings	
	g)	Maximum building height			11.0 m	
	h)	Minimum landscape open space			30%	
	i)	Minimum parking requirement			2 tandem parking spaces per unit	
	j)	Garages shall not project beyond the front facade of the dwelling				
	k)	Driveways for each dwelling unit shall not exceed 50% of the width of the dwelling unit.				
4.	That the lands identified as Area 4 on Schedule B26 attached hereto and forming part of this By-law permit one detached dwelling only, subject to the following provisions:					
	a)	Minimum lot frontage			28 m	
	b)	Minimum lot area			975 m²	
	c)	Minimum lot coverage			50%	
	d)	Minimum front yard			3.5 m	
	e)	Minimum rear yard			3 m	
	f)	Minimum side yard			7 m	
	g)	Minimum exterior side yard			11 m	
	h)	Maximum building height			11.0 m	
	i)	Minimum landscaped open space			50%	
	j)	Minimum parking requirement			2 tandem parking spaces	

Special Provision	Zone	Schedule A	Location	By-law
99	R1	13	107 Wellandvale Road	
A semi-detached dwelling shall be subject to the following provisions:				
1.	Minimum rear yard			6.2 m
2.	Maximum porch encroachment into rear yard			3.0 m
3.	Minimum side yard (with attached garage)			1.2 m
4.	The parking area permitted in the front yard of the northerly unit shall have a maximum width of 5.2 m			

Special Provision	Zone	Schedule A	Location	By-law
100	R1	9	439 Linwell Road	
Maximum building height – 2 storeys to a maximum of 7.6 m				

Special Provision	Zone	Schedule A	Location	By-law
101	C2	15	464 Welland Avenue	
Minimum landscape buffer along Welland Avenue and Export Avenue shall be 3.0 m				

Special Provision	Zone	Schedule A	Location	By-law
102	E2	16	450 Eastchester Avenue East	
Additional permitted use: Existing recreation facility				

Special Provision	Zone	Schedule A	Location	By-law
103	R3	9	393 Linwell Road	
1.	Maximum area for a home based business - 32% of the dwelling up to a maximum 97 m²			
2.	Minimum parking – 3 spaces			
3.	Front yard parking coverage – 75%			

Special Provision	Zone	Schedule A	Location	By-law
104	E2	15, 16	150 Dunkirk Road	
Additional permitted use: existing indoor recreation facility				

Special Provision	Zone	Schedule A	Location	By-law
105	E2	3, 4	14 Broadway	
Additional permitted use: greenhouses subject to the following provisions:				
1.	Minimum front yard – 9.1 m			
Note: Holding Provision H7 also applies to the lands.				

Special Provision	Zone	Schedule A	Schedule B	Location	By-law
106	R1	6, 12	27	358A Martindale Road 358C Martindale Road 358D Martindale Road 358E Martindale Road	
1.	Minimum front yard setback			3.0 m to a dwelling 6.0 m to an attached or detached garage 0.0 m to an attached garage where the exterior side wall forms part of the front yard fencing	
2.	Minimum side yard			One side: 1.2 m for a single storey dwelling, 1.8 m for a 2 storey dwelling Other side: 7.0 m	
3.	Lot depth			Regulations for maximum lot depth are established in Areas 1, 2 and 3 of this by-law, but in no case shall lot depths extend below the 84.0 m topographic contour of the site.	
4.	Front yard parking and landscaped open space			“Landscaped open space” shall be located in the front yard, except for a driveway and vehicle turn-around area.	
5.	Landscaped open space			“Landscaped open space” means any space used for grass, flowers, shrubs, trees and similar horticultural elements including walkways, patios decks, and similar outdoor features, but excludes driveways and vehicle turn-around areas.	
6.	Exterior side wall of garage			For the purpose of this by-law, the exterior of the side wall of the garage shall be the side of the garage facing Martindale Road.	
	All buildings, structures and accessory uses, including above ground and in-ground swimming pools, porches, verandahs, gazebos, garden and storage sheds, garages, driveways, parking areas, stairs and sidewalks, are prohibited from the area defined by the minimum rear yard setback				
7.	Minimum lot frontage			29.0 m	

8.	Maximum lot depth	35.0 m
9.	Minimum lot area	957 m ²
10	Minimum rear yard	16.0 m but in no case shall any building or structure extend below the 90.0 m contour line

Special Provision	Zone	Schedule A	Location	By-law
107	M1	14, 15	Area generally bounded by Geneva Street, Welland Avenue, Frank Street, Gale Crescent	
Despite Section 8.2 to the contrary, a car wash, motor vehicle repair garage and motor vehicle gas station are not permitted.				

Special Provision	Zone	Schedule A	Location	By-law
108	M1	22	88 Merritt Street	
1.	Minimum setback easterly from the easterly zone line: 5.0 m			
2.	Minimum setback to parking area from easterly zone line: 3 m			
3.	Maximum building height: 11 m			
4.	Outdoor storage is permitted only as an accessory use to the motor vehicle repair garage use on the abutting lot, 186 Merritt Street without the removal of the Holding (H) provision			
Note: Special Provision 112 and Holding provision H1 also applies to the lands				

Special Provision	Zone	Schedule A	Location	By-law
109	C1	9	446 Niagara Street	
1.	Minimum interior side yard and rear yard shall be 3 m			

Special Provision	Zone	Schedule A	Location	By-law
110	R3	15	44 Woodburn Avenue	

1.	No maximum lot area requirement shall apply for street townhouse dwelling.
2.	Retirement dwelling shall be permitted.
3.	Minimum lot frontage for street townhouse dwelling: 5.5 m

Special Provision	Zone	Schedule A	Location	By-law
111	R3	15	77 Avery Crescent	
1.	Retirement dwelling shall be permitted			
2.	Section 8.5 of this By-law shall not apply			
3.	Minimum interior side yard: 1.2 m			
4.	Minimum rear yard of: 6 m			
5.	No minimum or maximum density requirement shall apply			

Special Provision	Zone	Schedule A	Location	By-law
112	Various M1, R3, R4, C2,	21, 22	Various in Niagara Escarpment Plan Area	
1.	M1 and R3 Zone - Maximum building height: 18 m			
2.	R4 Zone - Maximum building height: 37 m			
3.	C2 Zone - Maximum building height: 16 m			
Note: Holding Provision H17 also applies to the lands.				

Special Provision	Zone	Schedule A	Location	By-law
113	G1	7	72 Henley Island Drive 69 Lakeport Road	
1.	Despite the provisions of Section 9, the lands shall be permitted to be used for the existing rowing facility and associated uses, providing the use complies with the G2 provisions of this By-law and shall include the right for the existing use of the site to undergo renovations in order to provide for the rowing facility, subject to Section 1.1.3 and 2.19 of this By-law.			

Special Provision		Zone	Schedule A	Location	By-law
114		R3 R2	14	55 Catherine Street 52 Catherine Street	
1.	Despite the provisions of Section 5 of this By-law the lot shall be permitted to be used for the existing light industry use, providing the use complies with the E1 provisions of this By-law, and shall include the right for the existing use of the lot to undergo renovations in order to provide for the light industry use.				
Note: Holding Provision H1 also applies to the lands					

Special Provision		Zone	Schedule A	Location	By-law
115		R3	27	20 Trillium Lane	
1.	Minimum building setback from the brow of the Niagara Escarpment: 15 m				
2	Maximum building height: 18 m				
Note: Holding Provision H17 also applies to the lands					

Special Provision	Zone	Schedule A	Location	By-law
116	I3	26	Brock University / Shaver Hospital and surrounding lands	
1.	Minimum building setback from the brow of the Niagara Escarpment: 15 m			
2.	Buildings 200 m or less from the brow of the Niagara Escarpment – Maximum building height: 19.5 m			
3.	Buildings greater than 200 m from the brow of the Niagara Escarpment – Maximum building height: 23 m			
Note: Holding Provision H18 also applies to the lands				

Special Provision		Zone	Schedule A	Location	By-law
117		C2	21	210 Glendale Avenue	
1.	Maximum building height: 14 m				
Note: Holding Provision H19 also applies to the lands					

Special Provision		Zone	Schedule A	Location	By-law
118		I2, M1	19, 20	49 Ridley Road 230 Louth Street 6 Great Western Street	
1.	A Major Transit Station is a permitted use.				
Note: Holding Provision H 6 also applies to the lands					

Special Provision	Zone	Schedule A	Location	By-law
119	I2	8, 9	1 Tabor Drive	
1.	Minimum parking for Long Term Care Facility shall be 0.25 spaces per dwelling unit and per care bed.			

Special Provision	Zone	Schedule A	Location	By-law
120	A1	5, 6	1142 Lakeshore Road West 1388 Third Street	
Additional Permitted Use: A Place of Worship on the existing lot of record as of the date of passage of this By-law				

Special Provision	Zone	Schedule A	Location	By-law
121	R2	20	109 Glendale Avenue 298 Glenridge Avenue	
1.	Despite the provision of Section 5, the following applies:			
	a)	Maximum Number of attached dwelling Units	8	
	b)	Minimum Landscaped Open Space	40%	
	c)	Minimum parking space per dwelling unit	1.8	
	d)	Minimum Landscape Buffer along interior side lot line	0.5 m	
	e)	Minimum front yard	4.5 m	
	f)	Minimum exterior side yard	7.5 m	
	g)	Minimum rear yard	3.5 m	
	h)	Minimum interior side yard	6.0 m	
	i)	Parking areas shall not be permitted between the building and Glenridge Avenue or Glendale Avenue		

Special Provision	Zone	Schedule A	Location	By-law
122	I1	7, 14, 15, 19, 20, 21, 22	80 Main Street, 21 Ann Street, 23 Brock Street, 84 Henry Street, 99 and 103 Ontario Street, 43 Facer Street, 28 Prince Street, 117 Chetwood Avenue, 4 Lisgar Street, 109 St Paul Crescent, 5 McKay Street, 101 South Drive, 93 Moffatt Street, 7 and 11 Elm Street, 31 Chestnut Street	
Residential uses shall comply with the Low Density Residential – Traditional Neighbourhood (R2) Zone uses and provisions of this By-law.				

Special Provision	Zone	Schedule A	Location	By-law
123	R4	14	Part of Lots 954, 955 and 956, Corporation Plan No. 2, designated as Part 1, Reference Plan 30R-82-92	
In addition to the uses permitted in the R4 Zone, the existing emergency service facility at the northwest corner of Ontario Street and Adams Street is permitted.				

SECTION 14 HOLDING PROVISIONS

Where a zone symbol contains the suffix ‘H’ with or without a special provision (for example R4-H1 or R4-1-H1) the zoning shall not take effect until the prescribed conditions are met and the ‘(H)’ is removed from the subject lot.

When the amending by-law removing the ‘H’ Holding symbol from a zone is enacted, the permitted uses and regulations for that lot shall apply.

Until such time as the prescribed conditions are met the identified lot shall only be used for the existing permitted use as of the date of this By-law including expansion of the existing permitted use, or other uses as set out in the Holding provision(s).

Lots with Holding provisions including the conditions to be satisfied prior to the removal of the Holding (H) zone symbol are identified in Section 14.1 below.

14.1 List of Holding Provisions

Holding	Schedule A	Location	By-law
H1	Various		
Environmental Considerations		An Environmental Site Assessment shall be prepared and submitted to the City of St. Catharines for approval. If contamination above provincial guidelines is found, a Record of Site Condition, or other acceptable documentation, shall be required for submission to the Ministry of the Environment prior to the removal of the Holding (H) designation.	

Holding	Schedule A	Location	By-law
H2	16	191 Bunting Road	
Environmental Considerations		A Record of site Condition (RSC) shall be submitted. The existing uses and uses permitted in the Employment (E2) Zone shall continue to be permitted until such time as the Holding (H) designation is removed.	

Note: Special Provision 78 also applies to the lands.

Holding		Schedule A	Location	By-law
H3		18	Westgate Business and Professional Park 1242, 1262, and 1290 Fourth Avenue	
1.	Submission of an urban design plan, by a qualified professional, to the City for review and approval, addressing the entire business park;			
2.	Confirmation of the availability of urban services, being municipal water, sanitary sewers and storm drainage to the satisfaction of the City Engineer;			
3.	Submission of a Traffic and Parking Study of the entire business park prepared by a qualified professional, reviewed and approved by the City and the Ministry of Transportation;			
4.	Submission of a Master Servicing and Implementation Strategy of all necessary infrastructure including a storm water management plan to accommodate the ultimate full development of the entire prestige business park, prepared by a qualified professional, reviewed and approved by the City.			
Note: Special Provision 5 also applies to the lands.				

Holding	Schedule A	Location	By-law
H4	7	Port Dalhousie Commercial Core 16 Lock Street, 12 Lakeport Road,	
Once the following conditions have been met to the satisfaction of the City Council:			
1.	a site plan agreement is approved by City Council (including public right-of-way easement);		
2.	heritage easements, under the Ontario Heritage Act, are finalized to ensure restoration and preservation of heritage buildings within the site;		
3.	required road allowances, lanes and alleys be closed and conveyed.		
Note: Special Provision 8 also applies to these lands.			

Holding	Schedule C	Schedule A	Location	By-law
H5	1 a and b	7	Port Dalhousie Commercial Core (The Residential Tower)	
An additional Holding (H) designation shall apply to area 5, as identified on Schedules C 1a and C 1b, (the 17 storey portion of the building) which shall be lifted by City Council once the following additional condition is met:				
1.	Prior to the residential use of the lands identified as Area 5 on Schedules C 1a and C 1b all commercial uses, including a minimum of 3,600 m ² of retail, office and restaurant space, and a hotel with a minimum of 70 rooms, and a minimum 400 seat theatre and 210 underground parking spaces, and required parking for the theatre use (in accordance with section 1 b) v) (See Special Provision 8), shall be constructed, and such construction shall include, but not be limited to, complete exterior finishing and interior demising walls of all buildings, and in the case of the theatre, the following interior elements: the circulation and access system (including lobby, stairs, elevators and corridors), the theatre stage, the platforms onto which theatre seats will be mounted and the backstage theatre support space.			
Note: Special Provision 8 also applies to the lands.				

Holding	Schedule A	Location	By-law
H6	19	various	
The proponent shall complete a study having regard for parking and other facilities to support the Major Transit Station and may include limited and related small scale ground floor commercial uses.			
Note: Special Provisions 20, 83 and 118 also apply.			

Holding	Schedule A	Location	By-law
H7	3	14 Broadway Avenue	
A storm water plan be approved by the City Engineer.			
Note: Special Provision 105 also applies to the lands.			

Holding		Schedule	Location	By-law
H8		15	40 Woodburn Avenue	
1.	A Record of Site Condition or other acceptable documentation, shall be submitted to the Ministry of the Environment;			
2.	The existing 100 year floodplain limit be relocated to the satisfaction of the Niagara Peninsula Conservation Authority (NPCA) in accordance with Ontario Regulation 155/06 and the Land Use Planning Policy of the NPCA.			
Note: Special Provision 47 also applies to the subject lands.				

Holding		Schedule A	Location	By-law
H9		16	97 Bunting Road	
1.	Road widening dedication of 5.49 m (18 feet) in width across the frontage of the property is deeded gratuitously to the City free and clear of any mortgages, liens and encumbrances			
2.	The Director of Planning and Development Services, or designate, be satisfied that the plans to be approved for a building permit meet the Urban Design policies of the Garden City Plan and provide for such matters as:			
	a)	Varied roof line in the front elevation;		
	b)	Porches for each of the semi-detached dwellings units;		
	c)	Relief in the front wall by having the garage recessed from the front elevation of the dwelling unit.		

Holding		Schedule A	Location	By-law
H10		14	87 Russell Avenue	
1.	The front yard (except a walkway) be reinstated from asphalt to sod; \$400 be provided to the City for installation of a boulevard tree on the Russell Avenue Road allowance and the front yard parking space has been relocated to the rear yard to the satisfaction of the Director of Recreation and Community Services			
2.	The Chief Building Official confirm that a building permit may be issued once the zoning is in effect.			

Holding		Schedule A	Location	By-law
H11		14	136 James Street	
1.	The Chief Building Official confirm that a building permit may be issued;			
2.	Documentation be provided outlining the manner in which the public parking currently located at 136 James Street is to be provided on one or both of these parcels of land and the manner in which the public parking is to be located, controlled, managed and offered to the public to the satisfaction of the Director of Transportation and Environmental Services.			

Holding		Schedule A	Location	By-law
H12		9, 15	397, 401, 403 Carlton Street	
1.	An urban design brief be approved by the Director of Planning and Development Services, or designate. The urban design brief shall include detailed building elevation plans and a shadow impact analysis. The urban design brief shall describe proposed techniques to maximize compatibility of the building, minimize the impacts of overlook onto area homes, enhance the relationship between the building and the street in order to mitigate noise impacts from Carlton Street, and shall ensure a high level of overall design quality.			
2.	That the existing servicing easement in favour of the Niagara Catholic District School Board identified as Part 5 on Plan 30R-10340 be retained, removed, or relocated to the satisfaction and approval of the Director of Transportation and Environmental Services and the Niagara Catholic District School Board. (See Special Provision 4)			
Note: Special Provision 4 also applies to the lands.				

Holding		Schedule A	Location	By-law
H13		7	6 and 10 Dalhousie Avenue	
The Holding (H) designation shall be removed by Council without further public hearing once Gary Road has been constructed to the satisfaction of the Director of Transportation and Environmental Services and when the owner has executed an Agreement with the City granting access to the underground parking over the unopened municipal road allowance to the satisfaction of the City Solicitor.				
Note: Special Provision 74 also applies to the lands				

Holding		Schedule A	Location	By-law
H14		19	294 and 310 Fourth Avenue	
An archaeological assessment is submitted to the satisfaction of the Ministry of Tourism, Culture, and Sport.				
Note: Special Provision 30 also applies to the lands.				

Holding		Schedule A	Location	By-law
H15		21	176 Oakdale Avenue	
The Holding (H) designation for Areas 2 and 3 as identified on Schedule B14 shall be removed, upon the completion of engineering studies by a qualified engineer, to the satisfaction the Transportation and Environmental Services Department demonstrating the lands are suitable for development.				
Note: Special Provision 44 also applies to the lands				

Holding		Schedule A	Location	By-law
H16		13	59 Wellandvale Road	
The Holding (H) designation shall be removed upon completion of the 100 year flood plain mapping to the satisfaction of the Niagara Peninsula Conservation Authority.				
Note: Special Provision 21 and Holding Provision H1 also apply to the lands				

Holding	Schedule A	Location	By-law
H17	21, 22, 25, 26, 27	Various Niagara Escarpment Plan Area	
1.	For the M1 and R3 Zone, building height above 13.5 m shall be subject to a visual impact assessment from the lands below the Escarpment, to the satisfaction of the Niagara Escarpment Commission.		
2.	For the R4 Zone, the Holding (H) designation shall be removed upon completion of a visual impact assessment from the lands below the Escarpment, to the satisfaction of the Niagara Escarpment Commission		
3.	For the I3 Zone, building height above 11 m shall require a visual impact assessment from the lands below the Escarpment, to the satisfaction of the Niagara Escarpment Commission.		
4.	For the C2 Zone, building height above 14 m shall require a visual impact assessment from the lands below the Escarpment, to the satisfaction of the Niagara Escarpment Commission.		

Holding	Schedule A	Location	By-law
H18	26	Brock University, Shaver Hospital and surrounding lands	
For buildings 200 m or less from the brow of the Niagara Escarpment, building height above 16 m shall be subject to a visual impact assessment from the lands below the Escarpment, to the satisfaction of the Niagara Escarpment Commission			
For buildings greater than 200 m from the brow of the Niagara Escarpment, building height above 19.5 m shall be subject to a visual impact assessment from the lands below the Escarpment, to the satisfaction of the Niagara Escarpment Commission.			
Note: Special Provision 116 also applies to the lands			

Holding	Schedule A	Location	By-law
H19	21	210 Glendale Avenue	
Building Height above 11 m shall be subject to a visual impact assessment from the lands below the Escarpment, to the satisfaction of the Niagara Escarpment Commission.			
Note: Special Provision 117 also applies to the lands			

SECTION 15 SCHEDULES

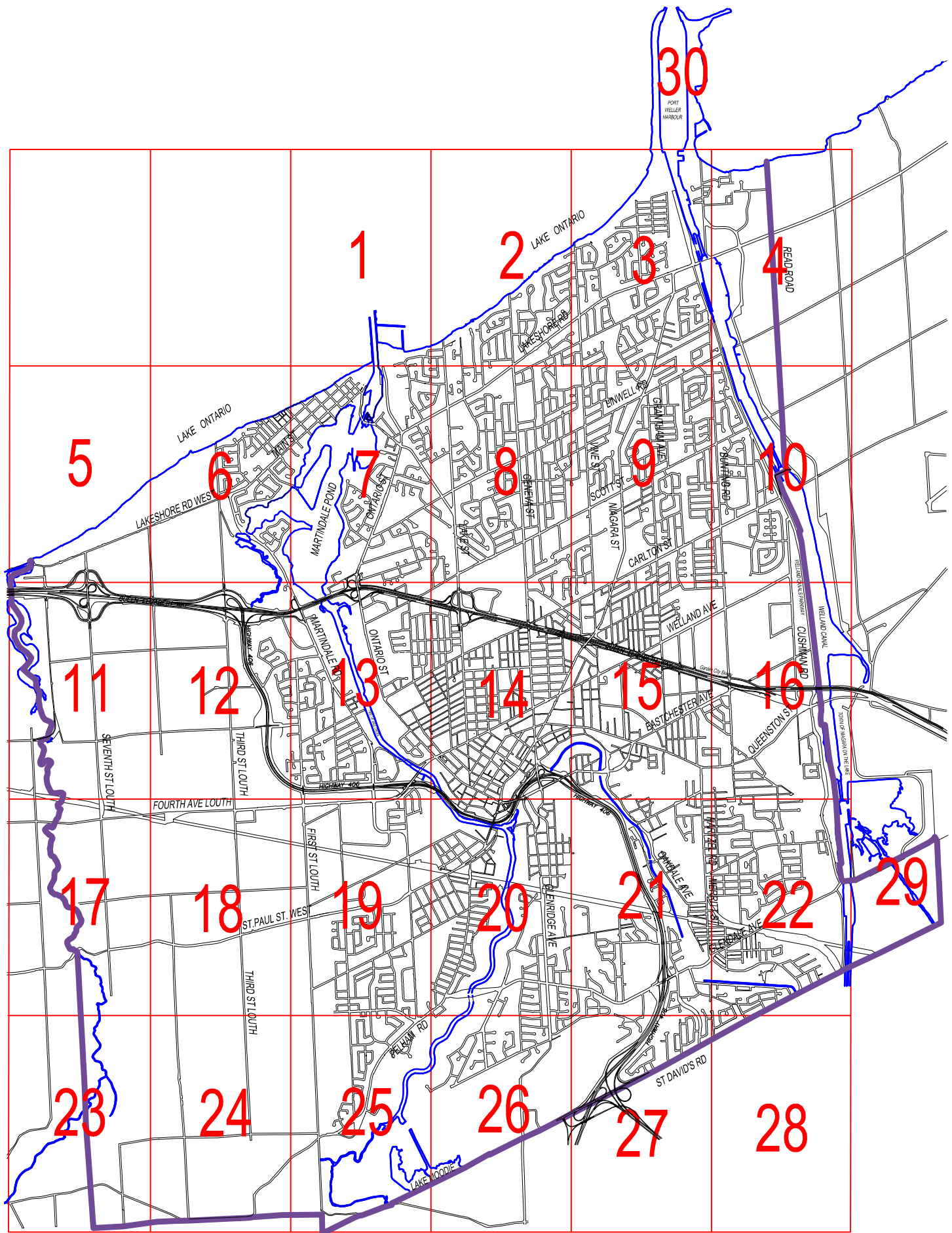
Schedule A –Zoning Maps

Schedule B – Lot Specific Maps for Special Provisions

Schedule C – Lot Specific Maps for Holding Provisions

Schedule D – Natural Area Extent Line

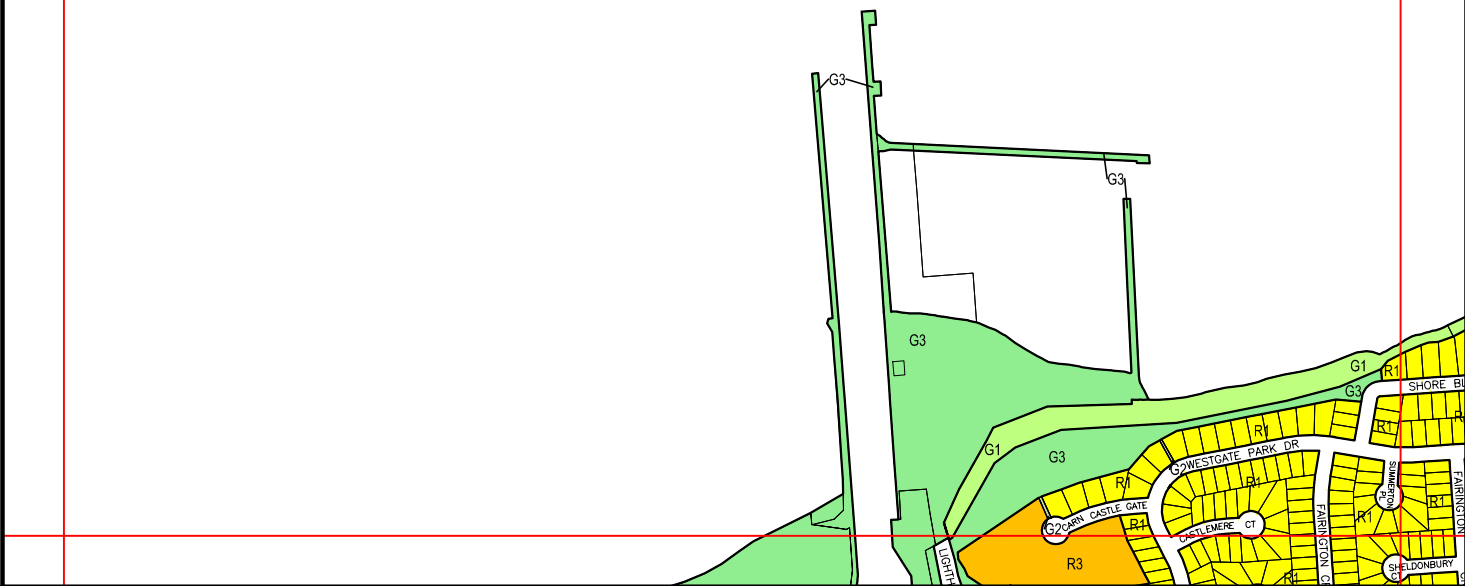
15.1 Schedule A – Zoning Maps



Section 15.1
Schedule A - Principal Zoning Maps
Index

City of St.
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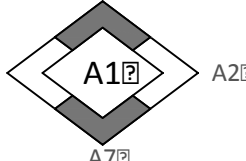
Zones

- R1** Low Density Residential
- Suburban Neighbourhood
- R2** Low Density Residential
- Traditional Neighbourhood
- R3** Medium Density Residential
- R4** High Density Residential
- C1** Local Convenience Commercial
- C2** Community Commercial
- C3** Arterial Commercial
- C4** Major Commercial
- C5** Downtown Commercial Core
- C6** Downtown Traditional Main Street
- E1** Business Commercial Employment
- E2** General Employment

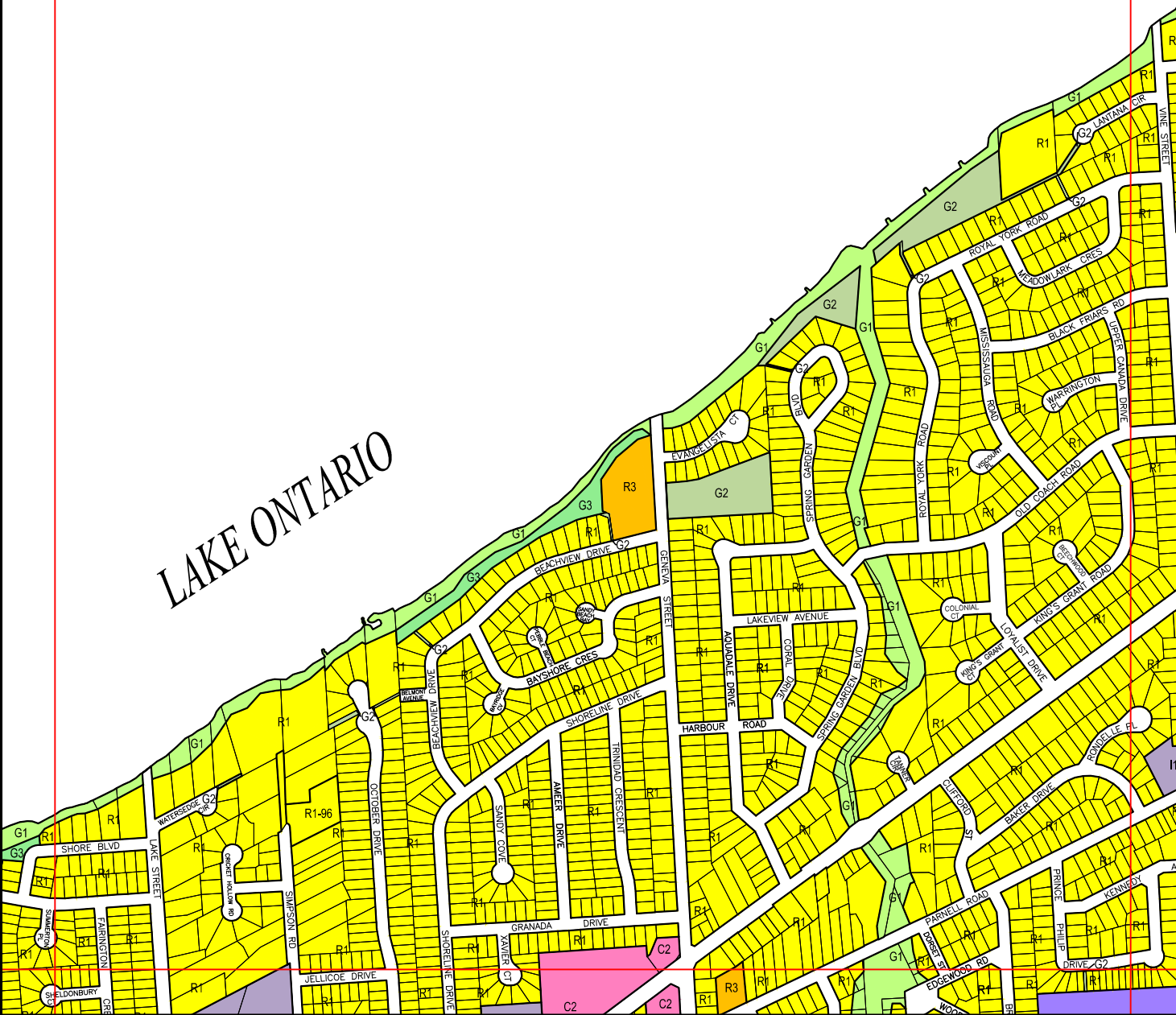
- M1** Medium Density Mixed Use
- M2** Medium / High Density Mixed Use
- M3** High Density Mixed Use
- G1** Conservation / Natural Area
- G2** Minor Green Space
- G3** Major Green Space
- I1** Local Neighbourhood Institutional
- I2** Community Institutional
- I3** Major Institutional
- A1** Agriculture
- A2** Agriculture Only
- A3** Agriculture Commercial / Industrial
- Municipal Boundary**



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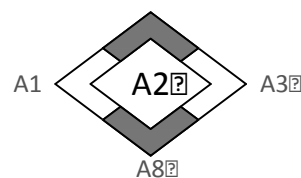


Zones

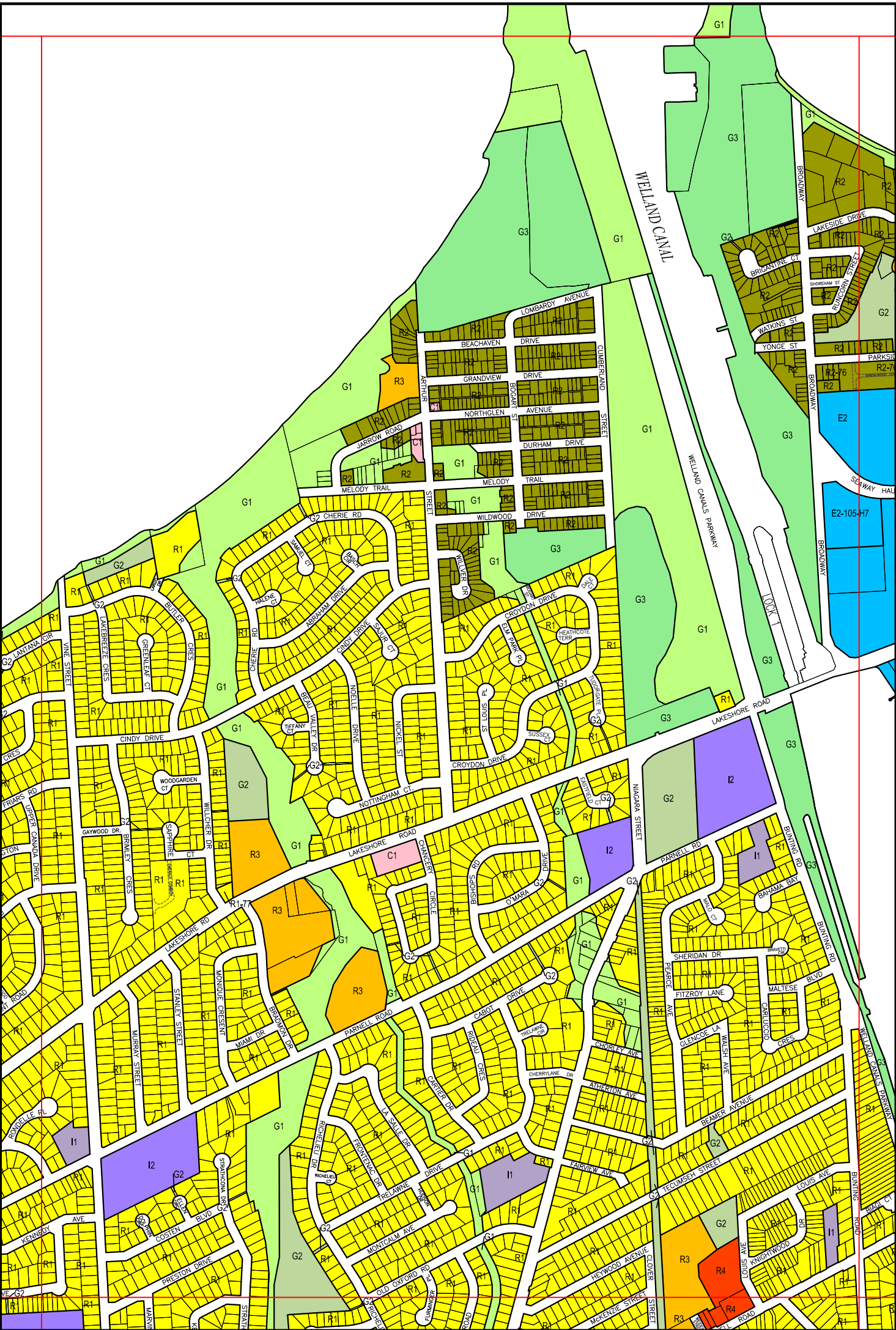
- | | |
|--|---|
| R1 Low Density Residential
- Suburban Neighbourhood | M1 Medium Density Mixed Use |
| R2 Low Density Residential
- Traditional Neighbourhood | M2 Medium / High Density Mixed Use |
| R3 Medium Density Residential | M3 High Density Mixed Use |
| R4 High Density Residential | G1 Conservation / Natural Area |
| C1 Local Convenience Commercial | G2 Minor Green Space |
| C2 Community Commercial | G3 Major Green Space |
| C3 Arterial Commercial | I1 Local Neighbourhood Institutional |
| C4 Major Commercial | I2 Community Institutional |
| C5 Downtown Commercial Core | I3 Major Institutional |
| C6 Downtown Traditional Main Street | A1 Agriculture |
| E1 Business Commercial Employment | A2 Agriculture Only |
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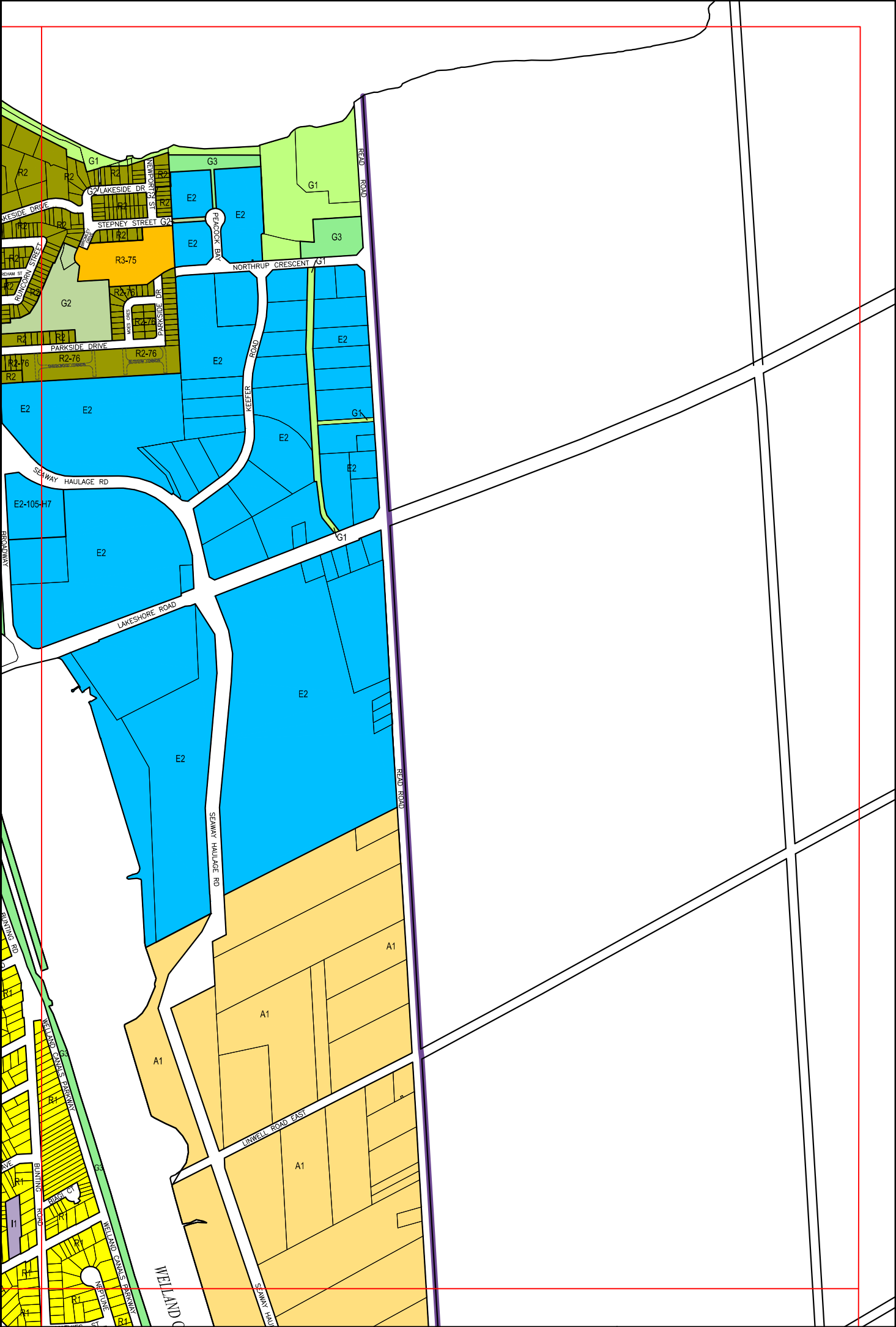
Zones	
R1 Low Density Residential - Suburban Neighbourhood	M1 Medium Density Mixed Use
R2 Low Density Residential - Traditional Neighbourhood	M2 Medium / High Density Mixed Use
R3 Medium Density Residential	M3 High Density Mixed Use
R4 High Density Residential	G1 Conservation / Natural Area
C1 Local Convenience Commercial	G2 Minor Green Space
C2 Community Commercial	G3 Major Green Space
C3 Arterial Commercial	I1 Local Neighbourhood Institutional
C4 Major Commercial	I2 Community Institutional
C5 Downtown Commercial Core	I3 Major Institutional
C6 Downtown Traditional Main Street	A1 Agriculture
E1 Business Commercial Employment	A2 Agriculture Only
E2 General Employment	A3 Agriculture Commercial / Industrial
	Municipal Boundary

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City of
St. Catharines
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A2 A3 A4 A9 A30

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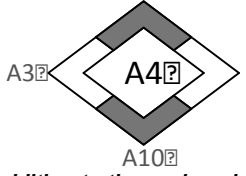


Zones	
R1 Low Density Residential - Suburban Neighbourhood	M1 Medium Density Mixed Use
R2 Low Density Residential - Traditional Neighbourhood	M2 Medium / High Density Mixed Use
R3 Medium Density Residential	M3 High Density Mixed Use
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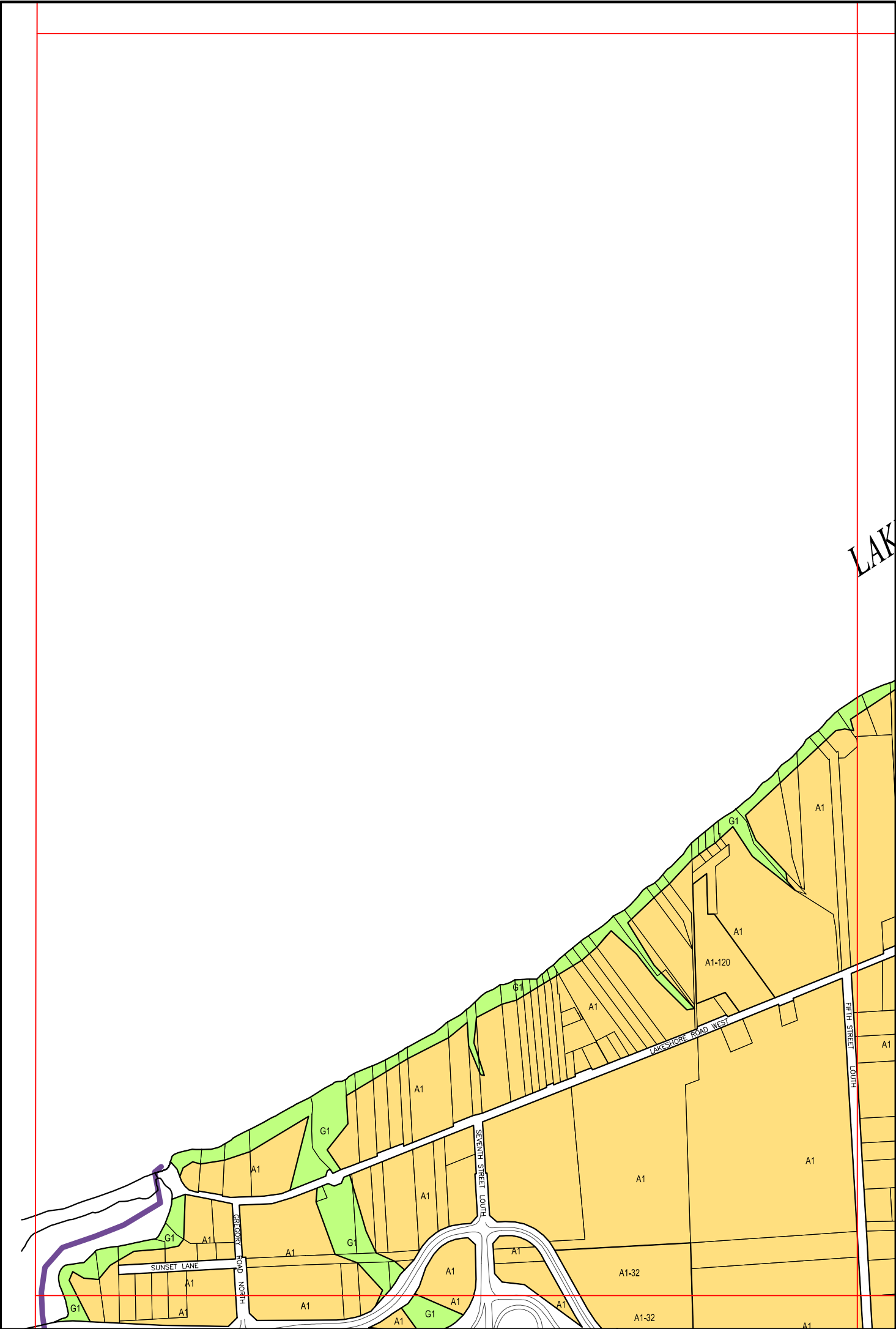
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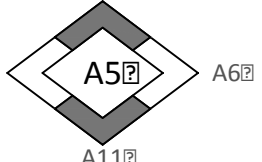
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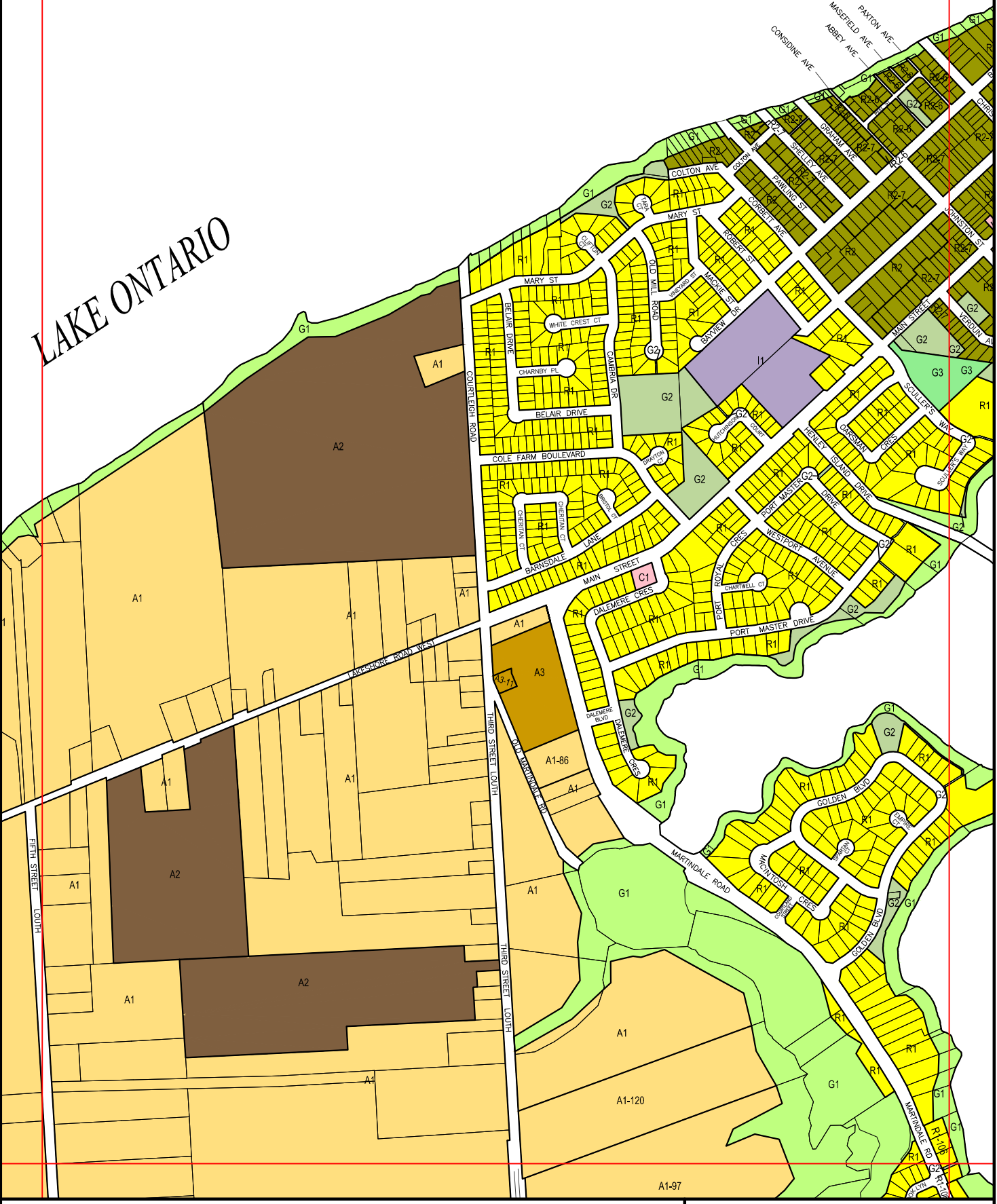
Zones	
R1 Low Density Residential - Suburban Neighbourhood	M1 Medium Density Mixed Use
R2 Low Density Residential - Traditional Neighbourhood	M2 Medium / High Density Mixed Use
R3 Medium Density Residential	M3 High Density Mixed Use
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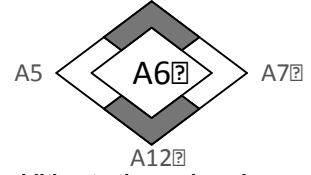


Zones

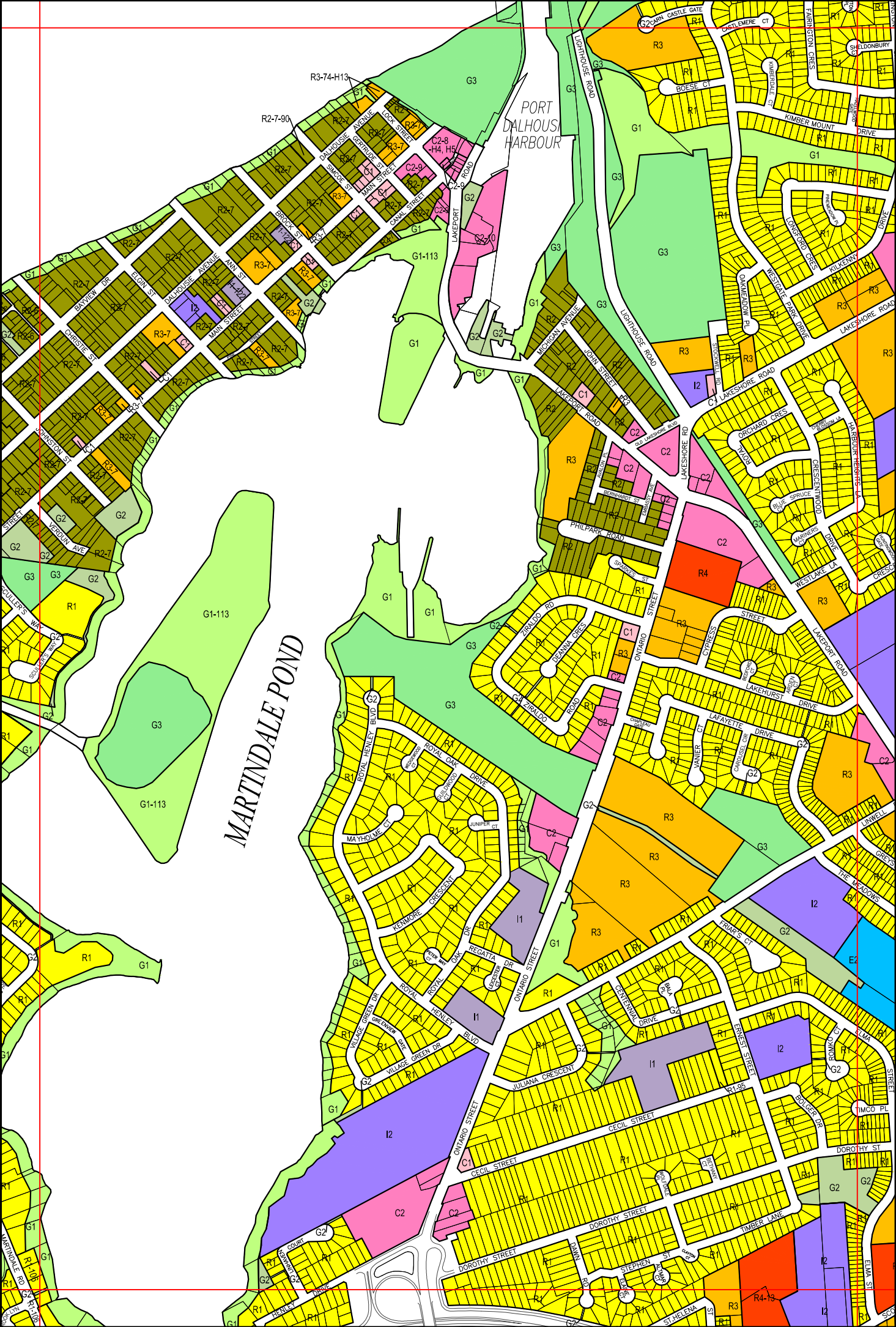
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- Suburban Neighbourhood | M1 Medium Density Mixed Use |
| R2 Low Density Residential
- Traditional Neighbourhood | M2 Medium / High Density Mixed Use |
| R3 Medium Density Residential | M3 High Density Mixed Use |
| R4 High Density Residential | G1 Conservation / Natural Area |
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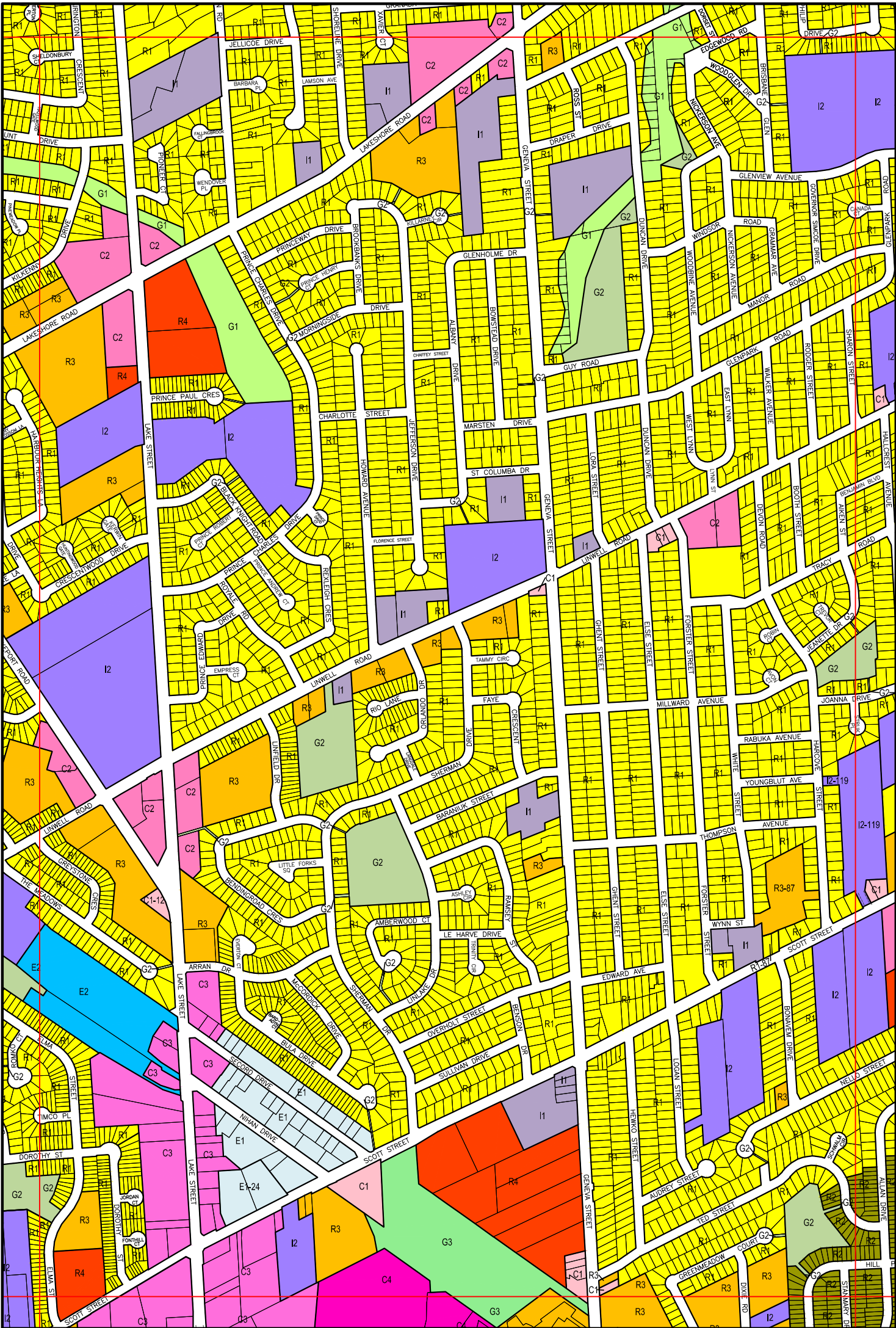
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A1
A6 A7 A8
A13

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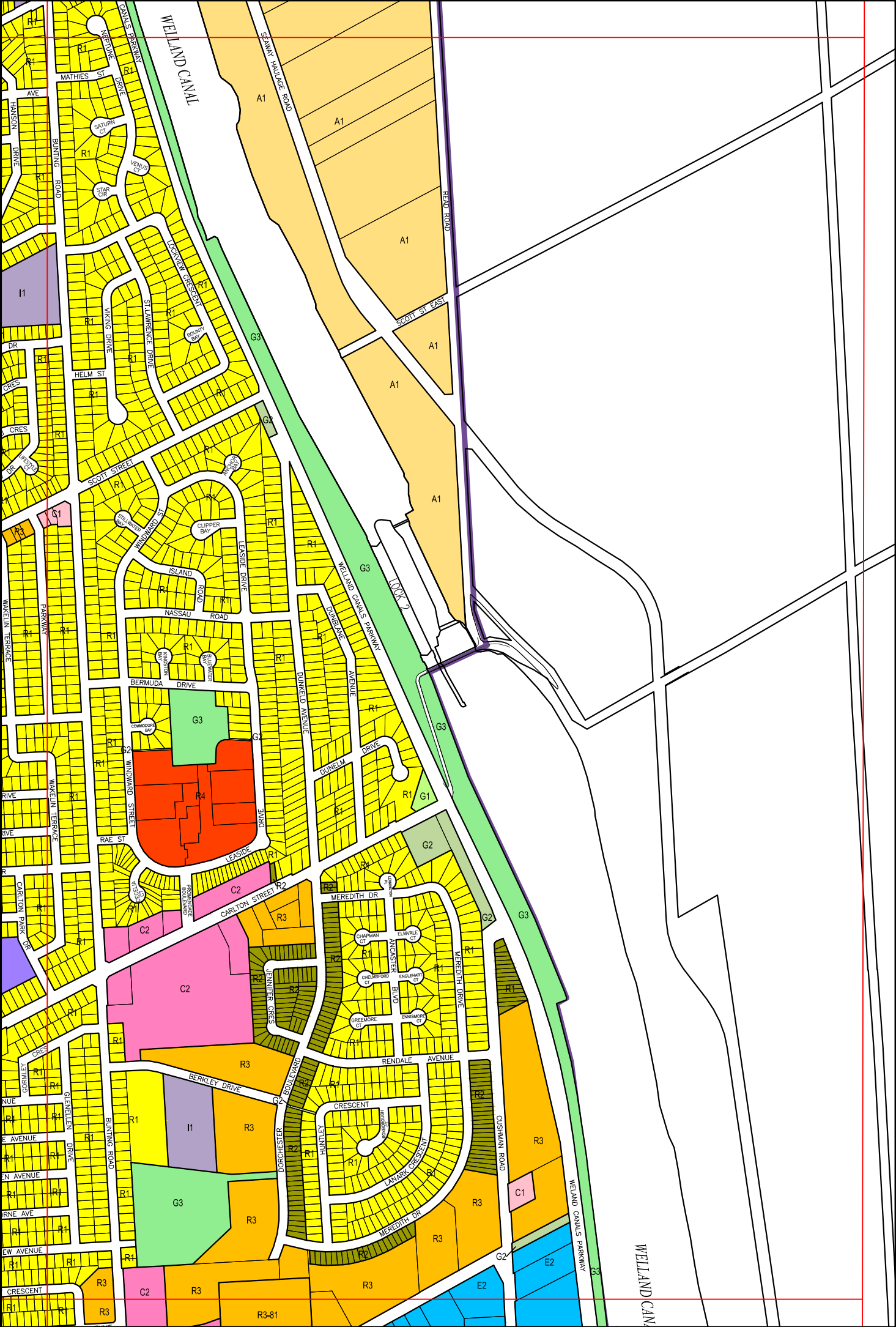


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R3 Medium Density Residential	M3 High Density Mixed Use
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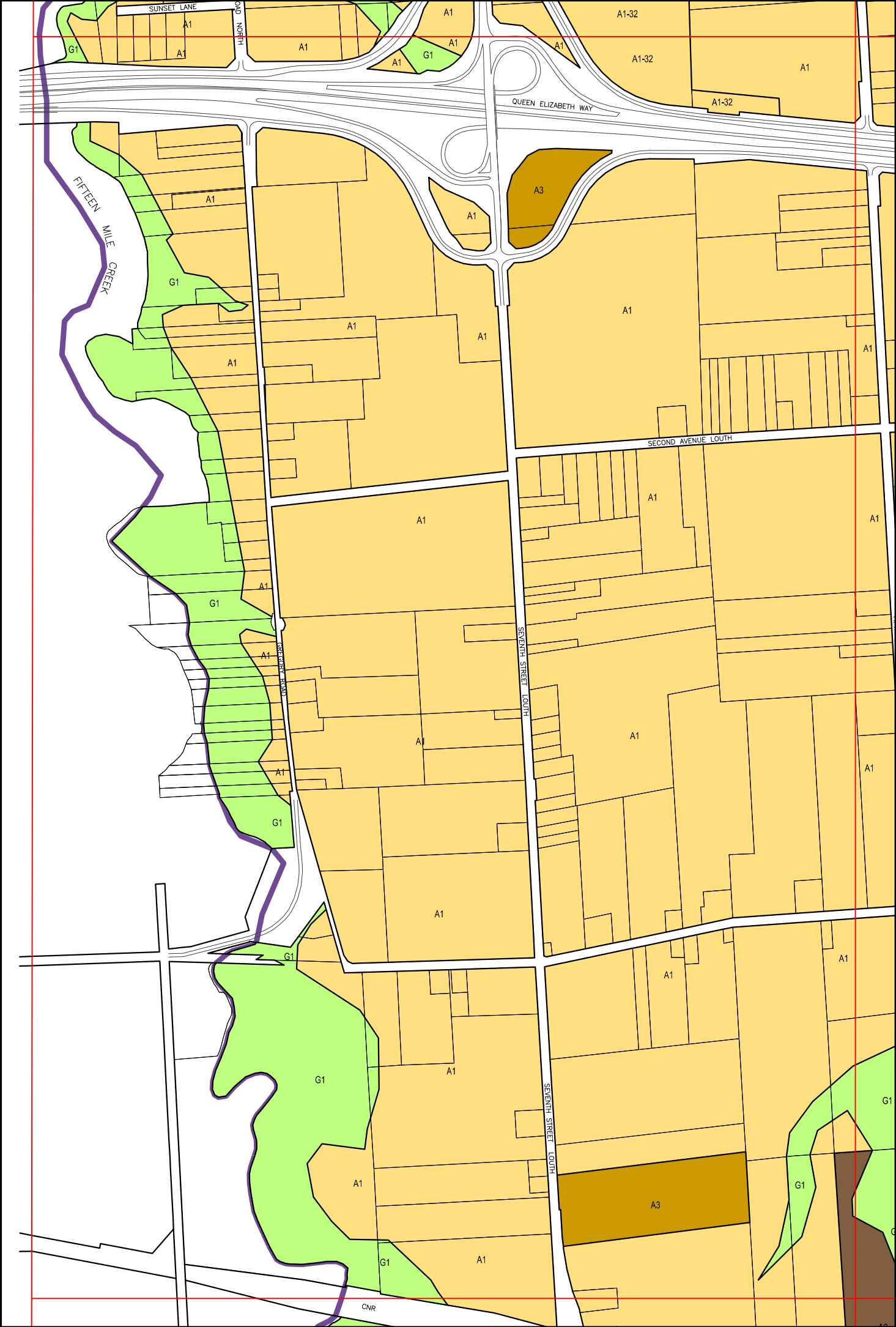
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A4
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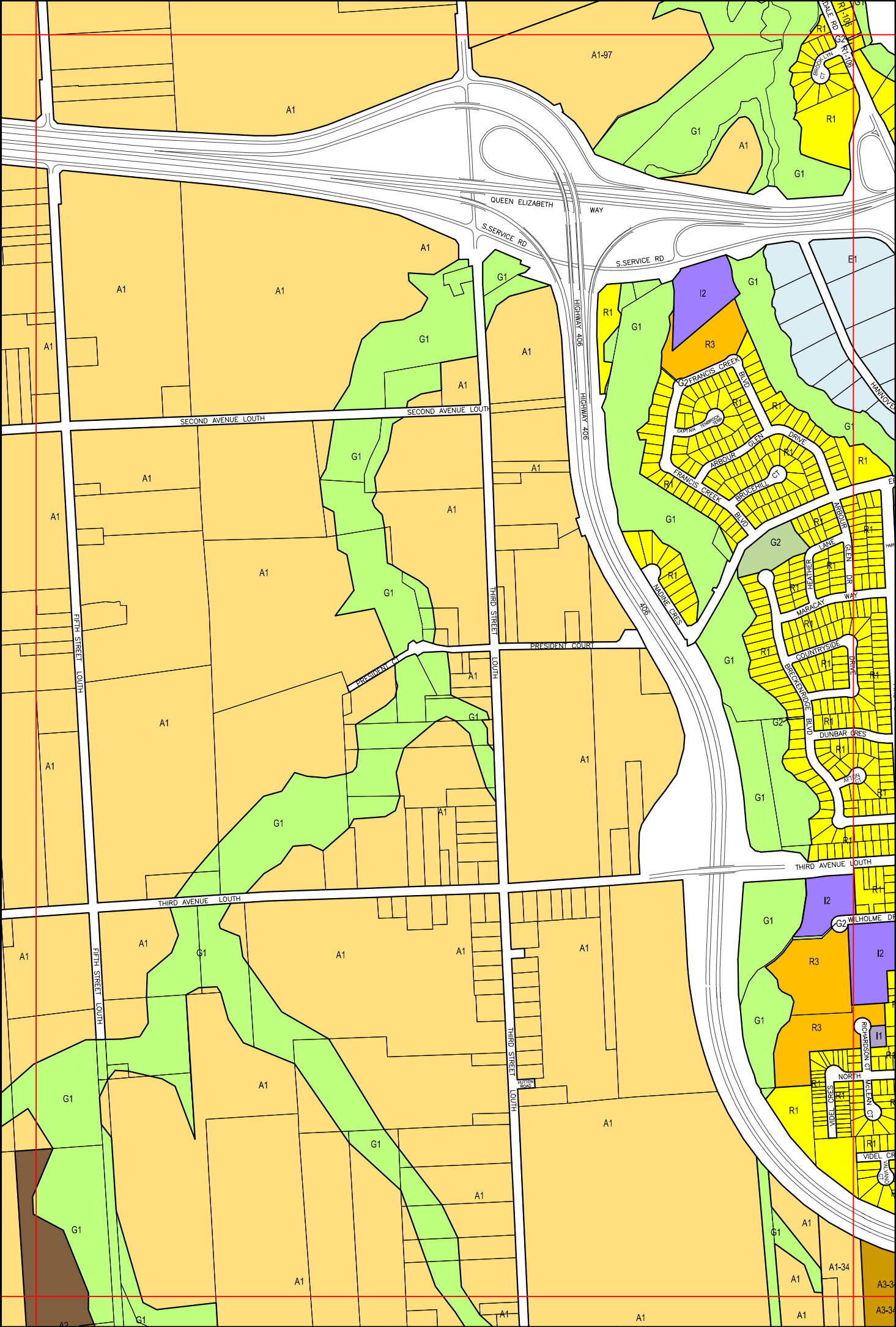
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A5
A11
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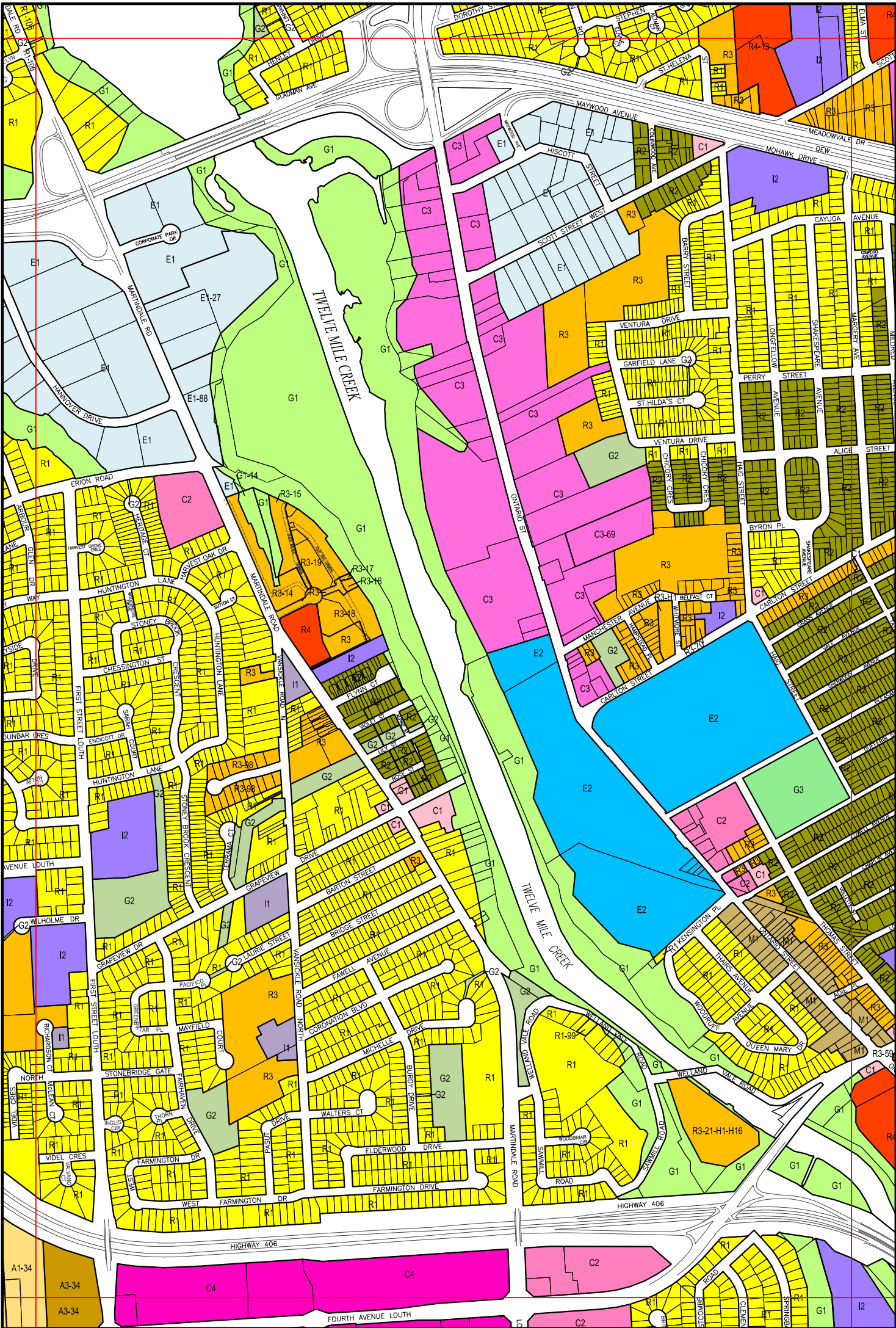
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R2 Low Density Residential - Traditional Neighbourhood	M2 Medium / High Density Mixed Use
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City of
St.Catharines
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A11 A12 A13 A18

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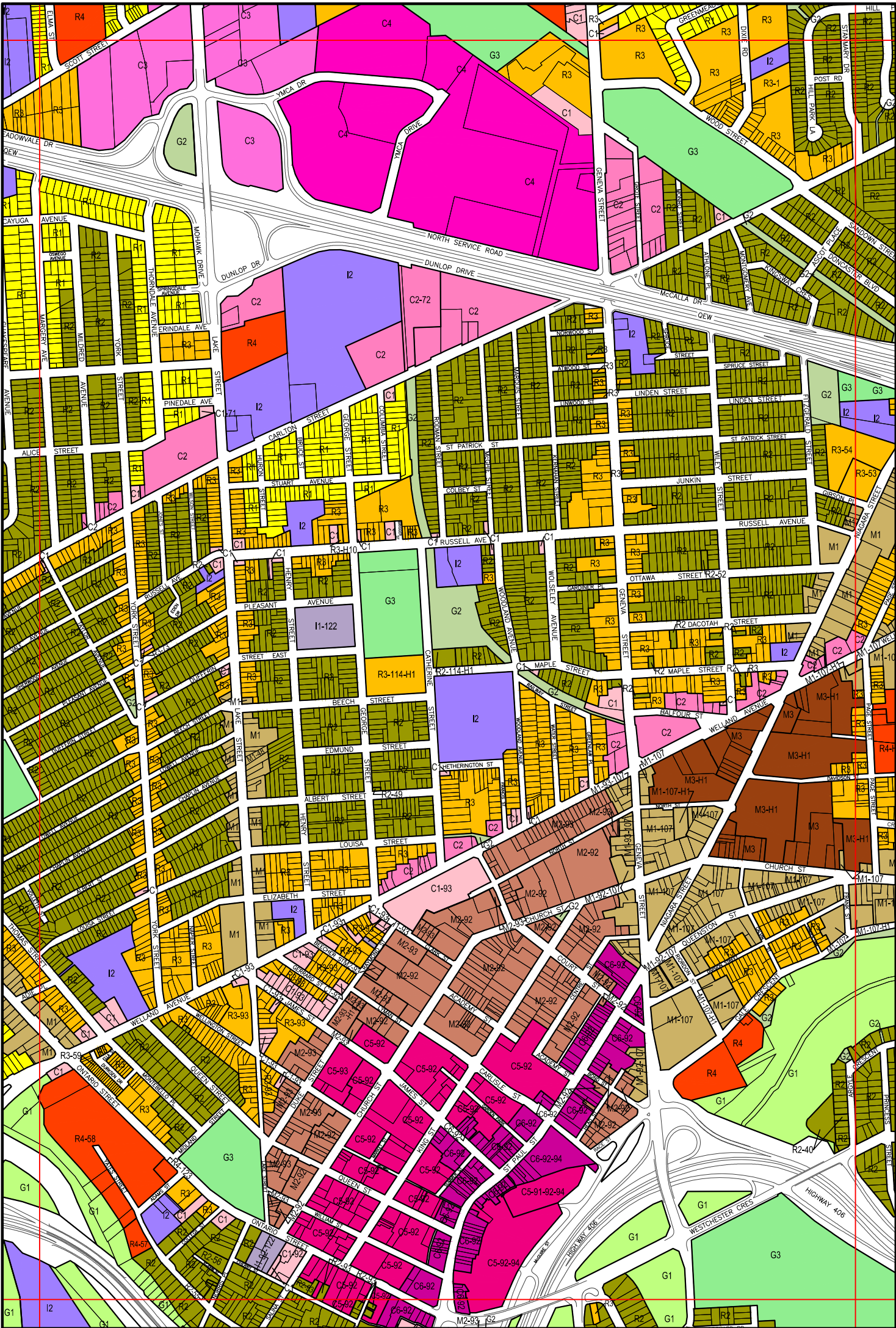
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City of
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A7
A12
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A14
A19

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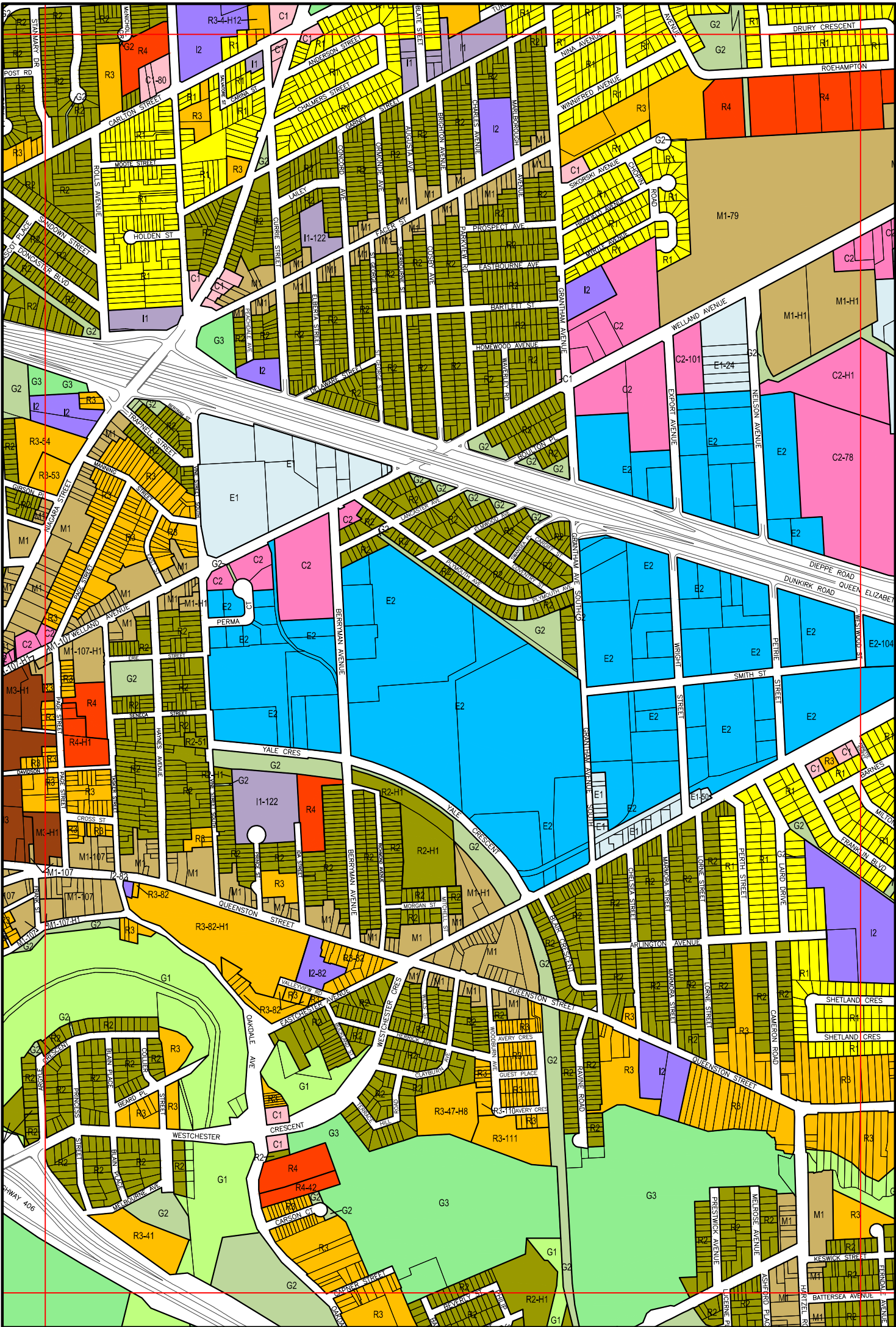


Zones	
R1	Low Density Residential - Suburban Neighbourhood
R2	Low Density Residential - Traditional Neighbourhood
R3	Medium Density Residential
R4	High Density Residential
C1	Local Convenience Commercial
C2	Community Commercial
C3	Arterial Commercial
C4	Major Commercial
C5	Downtown Commercial Core
C6	Downtown Traditional Main Street
E1	Business Commercial Employment
E2	General Employment
M1	Medium Density Mixed Use
M2	Medium / High Density Mixed Use
M3	High Density Mixed Use
G1	Conservation / Natural Area
G2	Minor Green Space
G3	Major Green Space
I1	Local Neighbourhood Institutional
I2	Community Institutional
I3	Major Institutional
A1	Agriculture
A2	Agriculture Only
A3	Agriculture Commercial / Industrial
	Municipal Boundary

1:10,000

City of
St. Catharines
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	Municipal Boundary

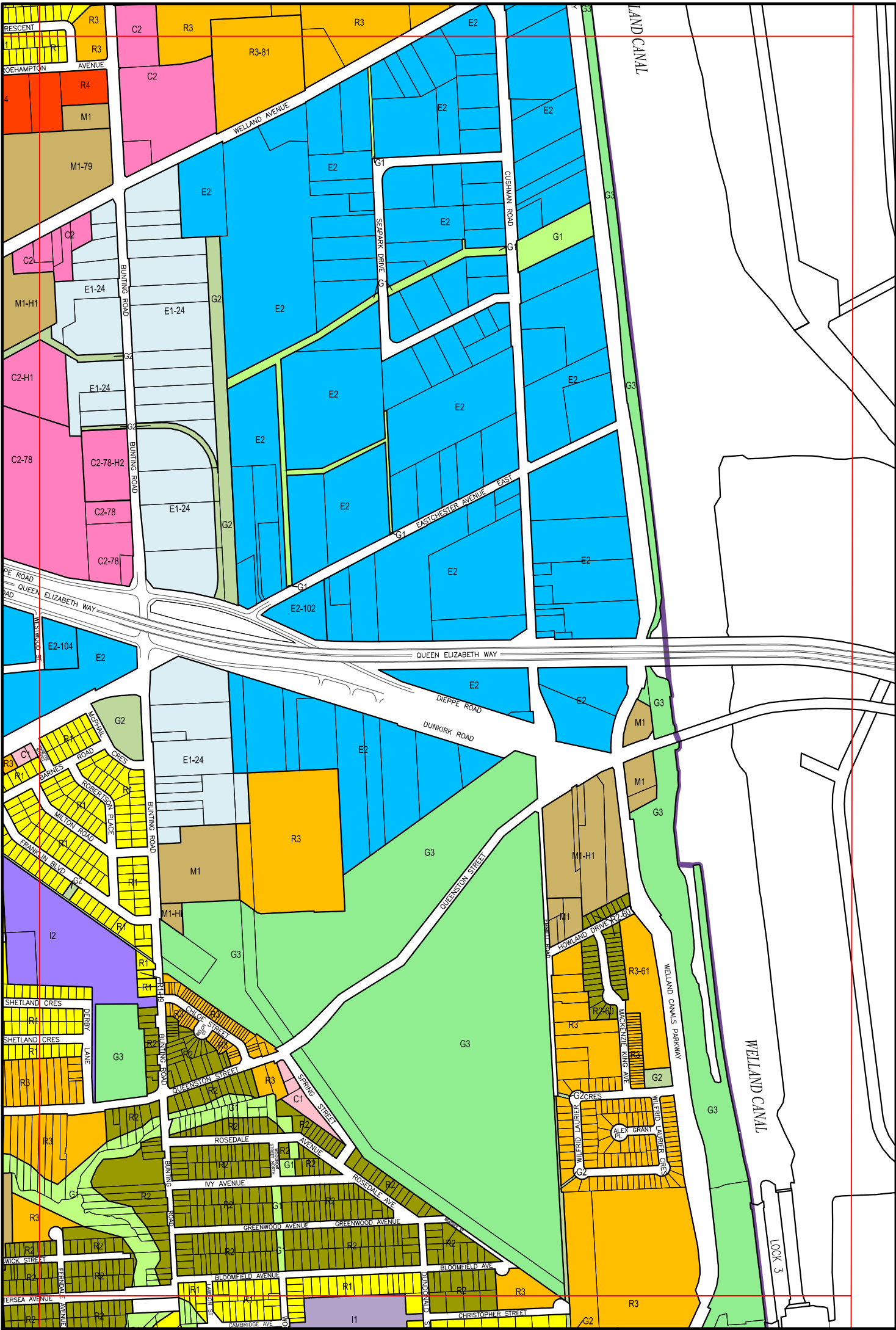
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City of
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A9

A14 A15 A16 A21

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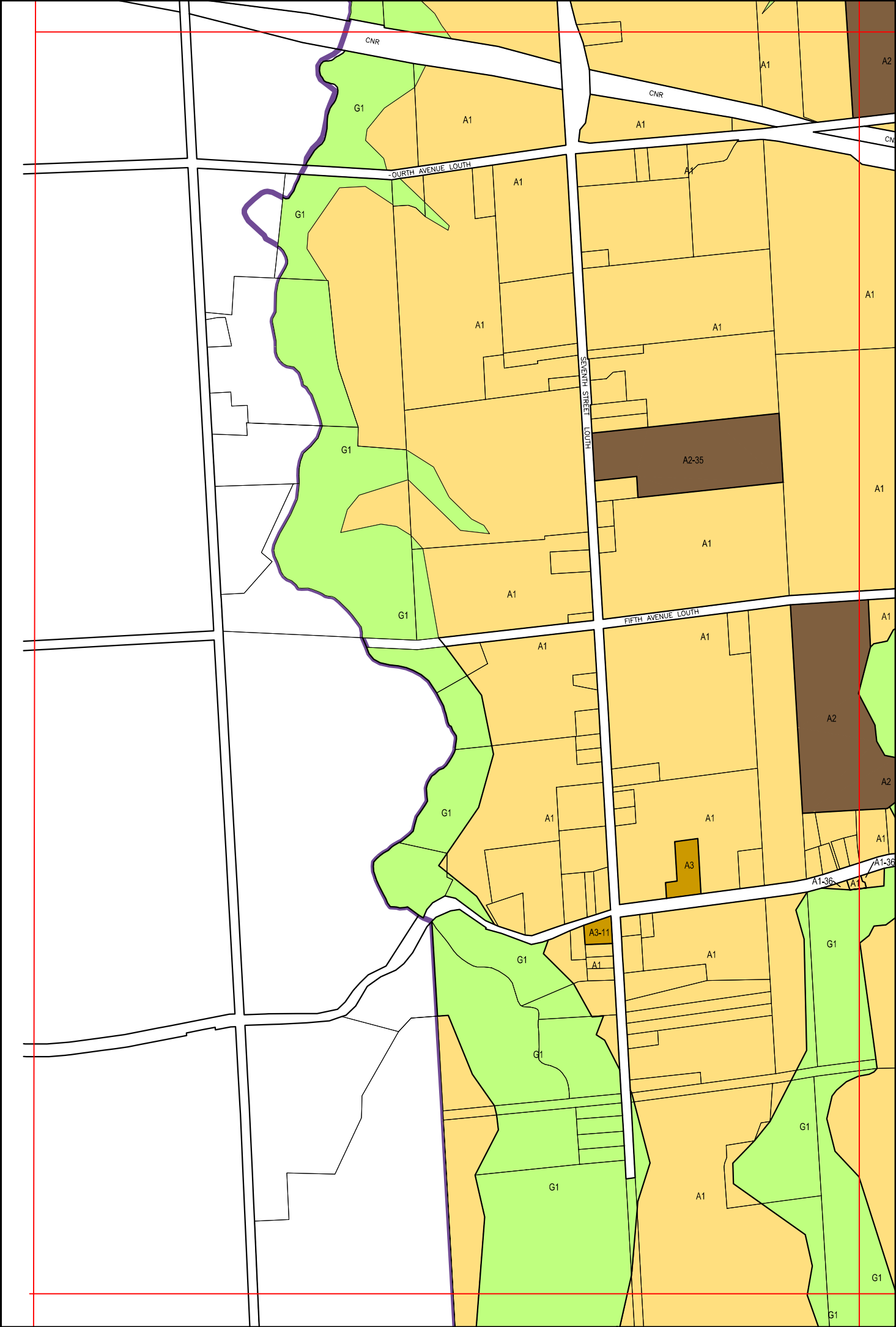
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	Municipal Boundary

1:10,000

City of
St.Catharines
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A10
A15
A16
A22

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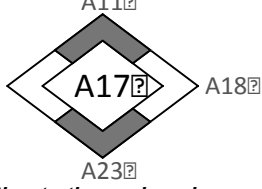


Zones

- | | |
|--|---|
| R1 Low Density Residential
- Suburban Neighbourhood | M1 Medium Density Mixed Use |
| R2 Low Density Residential
- Traditional Neighbourhood | M2 Medium / High Density Mixed Use |
| R3 Medium Density Residential | M3 High Density Mixed Use |
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| C6 Downtown Traditional Main Street | A1 Agriculture |
| E1 Business Commercial Employment | A2 Agriculture Only |
| E2 General Employment | A3 Agriculture Commercial / Industrial |
| | MB Municipal Boundary |

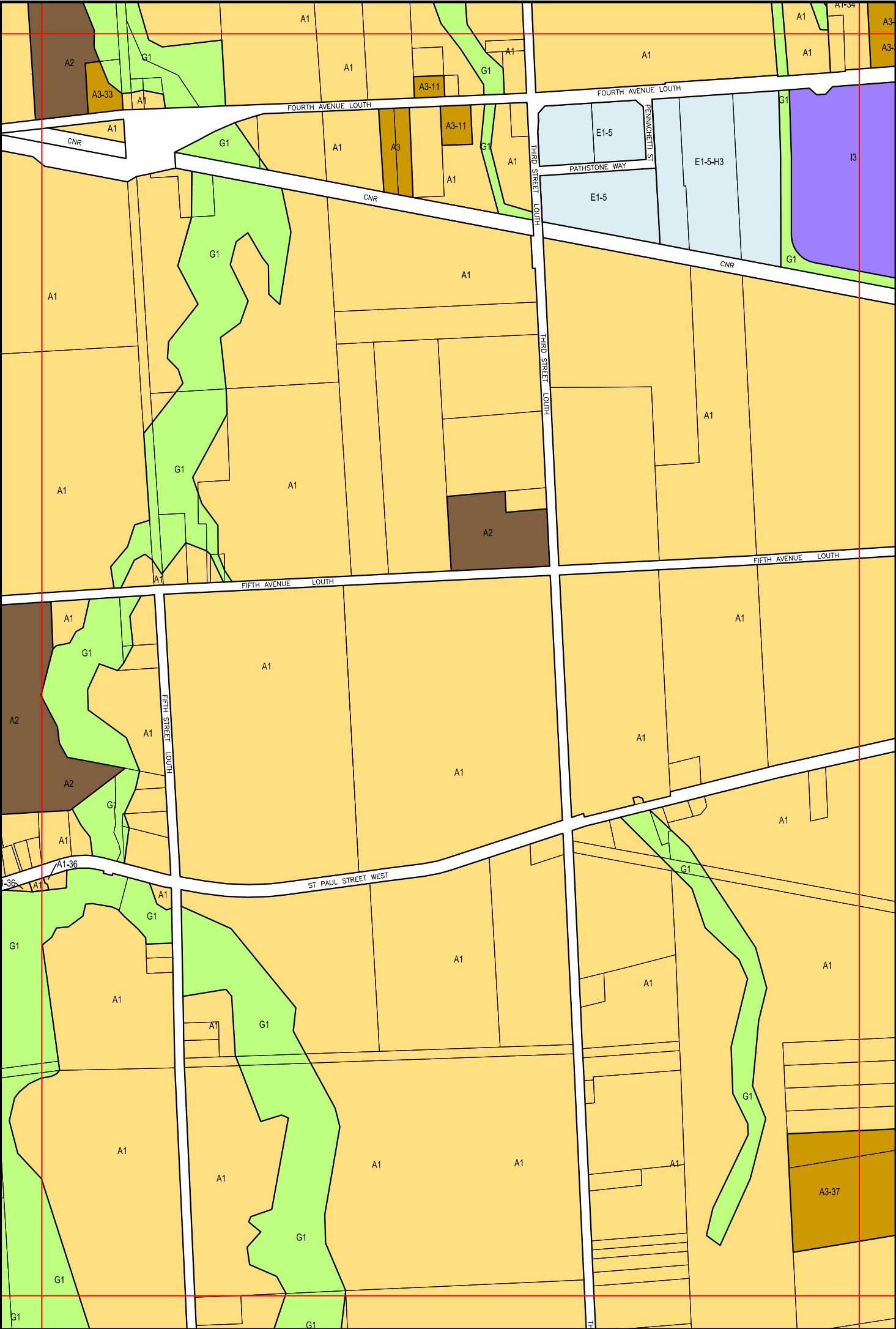


City of
St.Catharines
Zoning By-Law
November 4, 2013



A17

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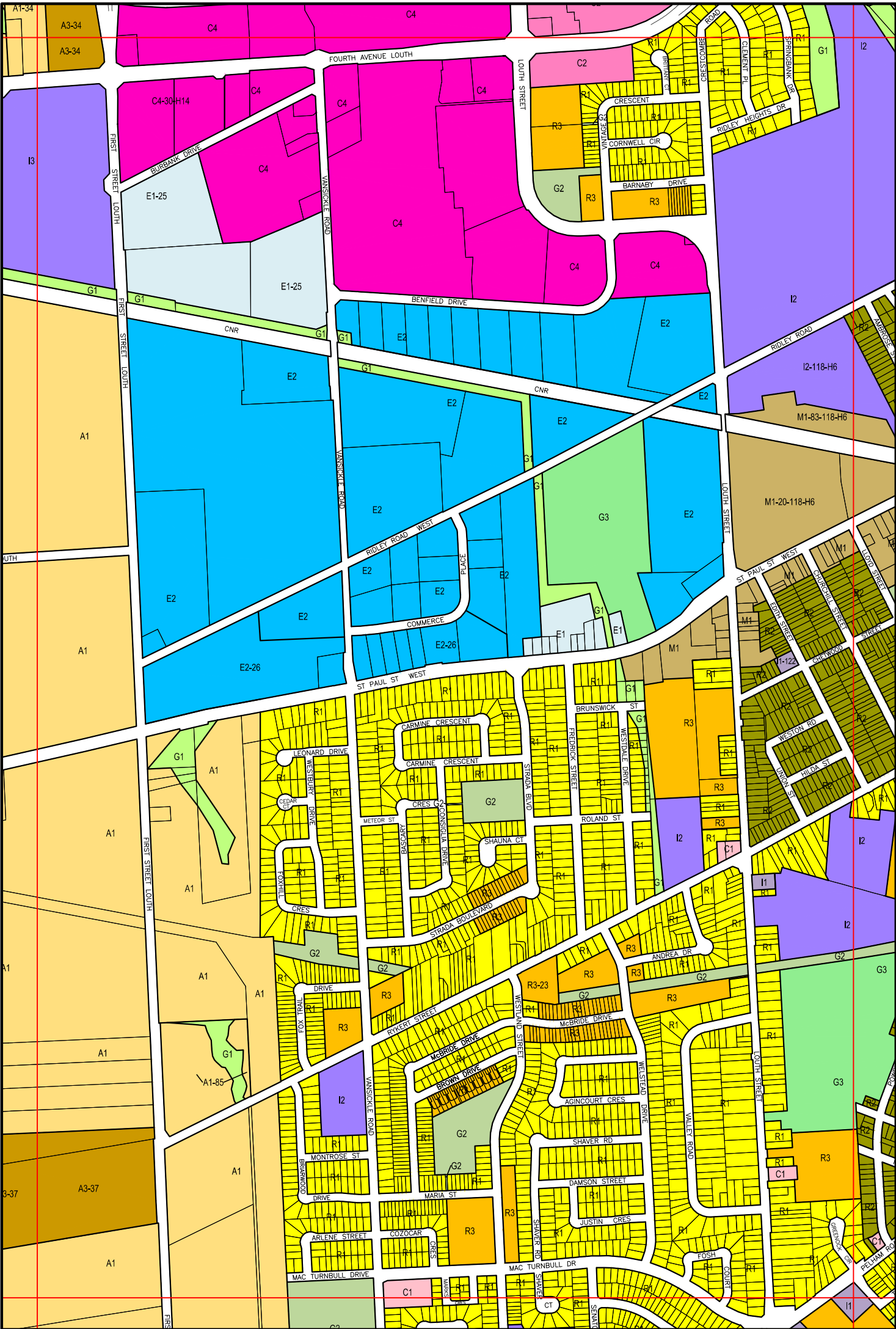
Zones	
R1 Low Density Residential - Suburban Neighbourhood	M1 Medium Density Mixed Use
R2 Low Density Residential - Traditional Neighbourhood	M2 Medium / High Density Mixed Use
R3 Medium Density Residential	M3 High Density Mixed Use
R4 High Density Residential	G1 Conservation / Natural Area
C1 Local Convenience Commercial	G2 Minor Green Space
C2 Community Commercial	G3 Major Green Space
C3 Arterial Commercial	I1 Local Neighbourhood Institutional
C4 Major Commercial	I2 Community Institutional
C5 Downtown Commercial Core	I3 Major Institutional
C6 Downtown Traditional Main Street	A1 Agriculture
E1 Business Commercial Employment	A2 Agriculture Only
E2 General Employment	A3 Agriculture Commercial / Industrial
	Municipal Boundary

1:10,000

City of
St.Catharines
Zoning By-Law
November 4, 2013

A12
A17
A18
A19
A24

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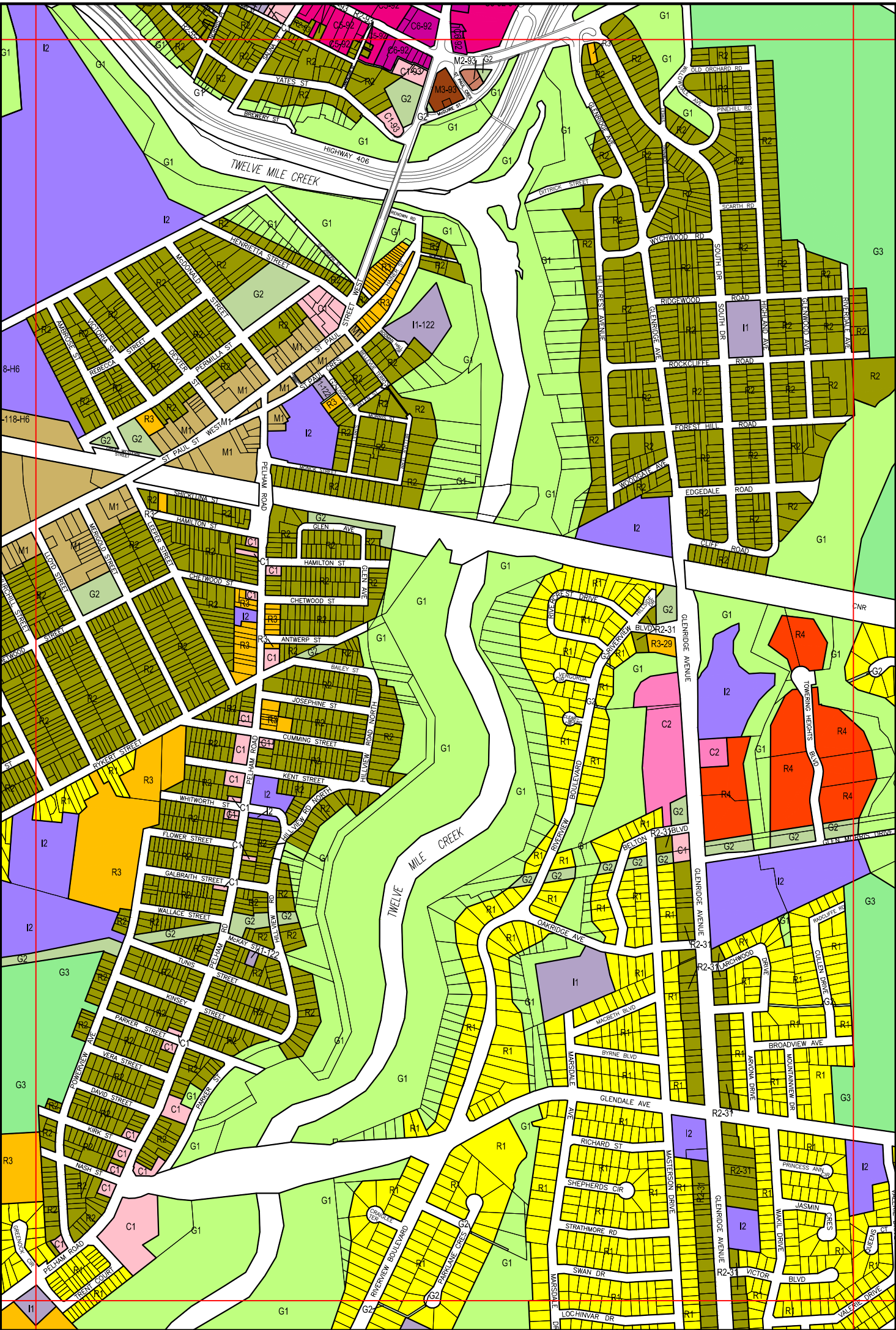


Zones	
R1 Low Density Residential - Suburban Neighbourhood	M1 Medium Density Mixed Use
R2 Low Density Residential - Traditional Neighbourhood	M2 Medium / High Density Mixed Use
R3 Medium Density Residential	M3 High Density Mixed Use
R4 High Density Residential	G1 Conservation / Natural Area
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C2 Community Commercial	G3 Major Green Space
C3 Arterial Commercial	I1 Local Neighbourhood Institutional
C4 Major Commercial	I2 Community Institutional
C5 Downtown Commercial Core	I3 Major Institutional
C6 Downtown Traditional Main Street	A1 Agriculture
E1 Business Commercial Employment	A2 Agriculture Only
E2 General Employment	A3 Agriculture Commercial / Industrial
	Municipal Boundary

1:10,000

City of
St. Catharines
Zoning By-Law
November 4, 2013

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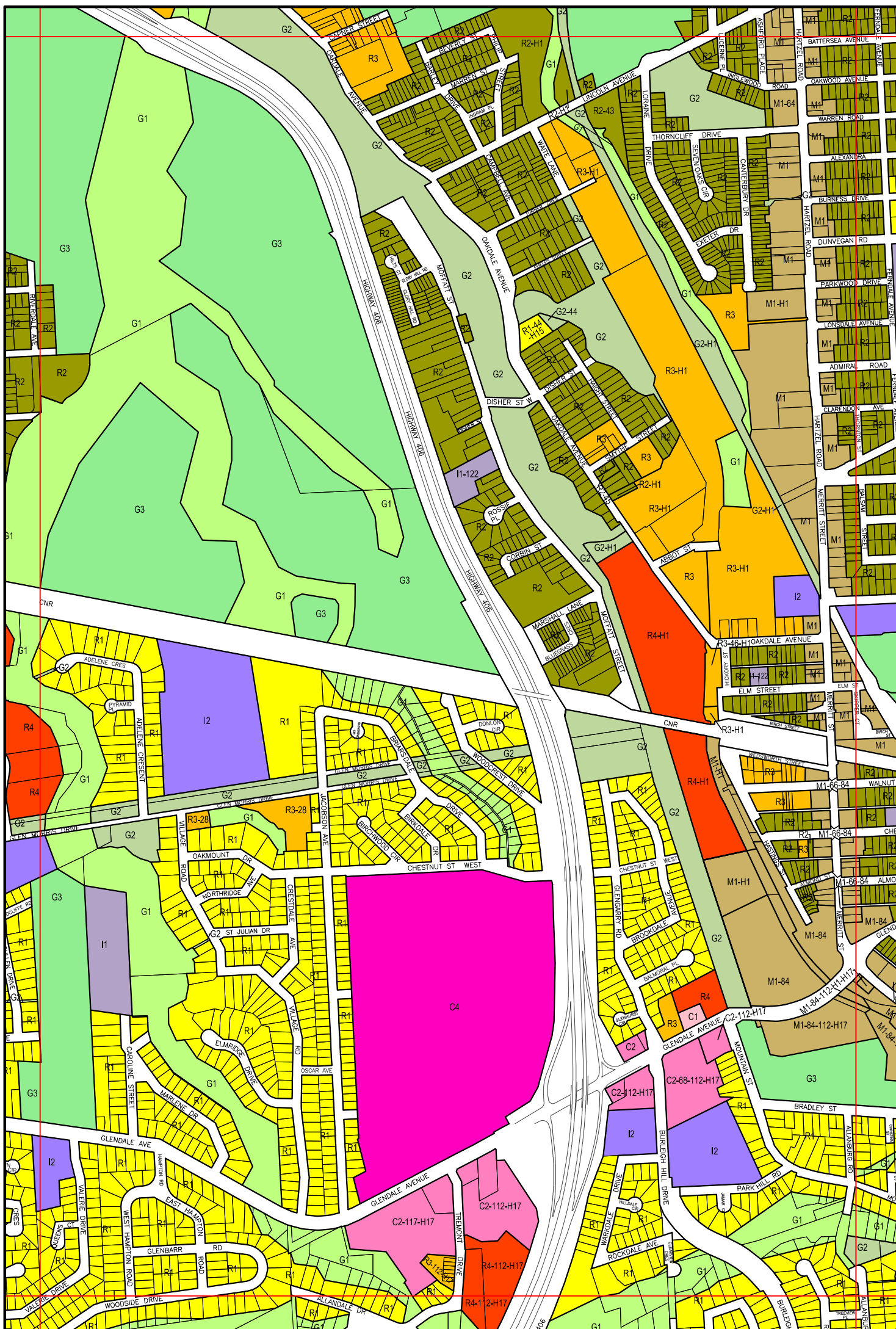
Zones	
R1 Low Density Residential - Suburban Neighbourhood	M1 Medium Density Mixed Use
R2 Low Density Residential - Traditional Neighbourhood	M2 Medium / High Density Mixed Use
R3 Medium Density Residential	M3 High Density Mixed Use
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C3 Arterial Commercial	I1 Local Neighbourhood Institutional
C4 Major Commercial	I2 Community Institutional
C5 Downtown Commercial Core	I3 Major Institutional
C6 Downtown Traditional Main Street	A1 Agriculture
E1 Business Commercial Employment	A2 Agriculture Only
E2 General Employment	A3 Agriculture Commercial / Industrial
	Municipal Boundary

1:10,000


City of
St. Catharines
Zoning By-Law
November 4, 2013

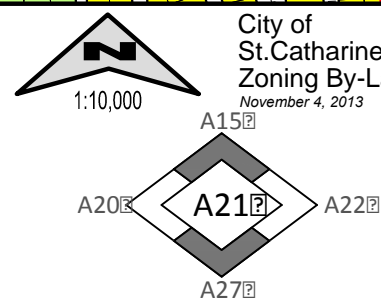
A14
A19
A20
A21
A26

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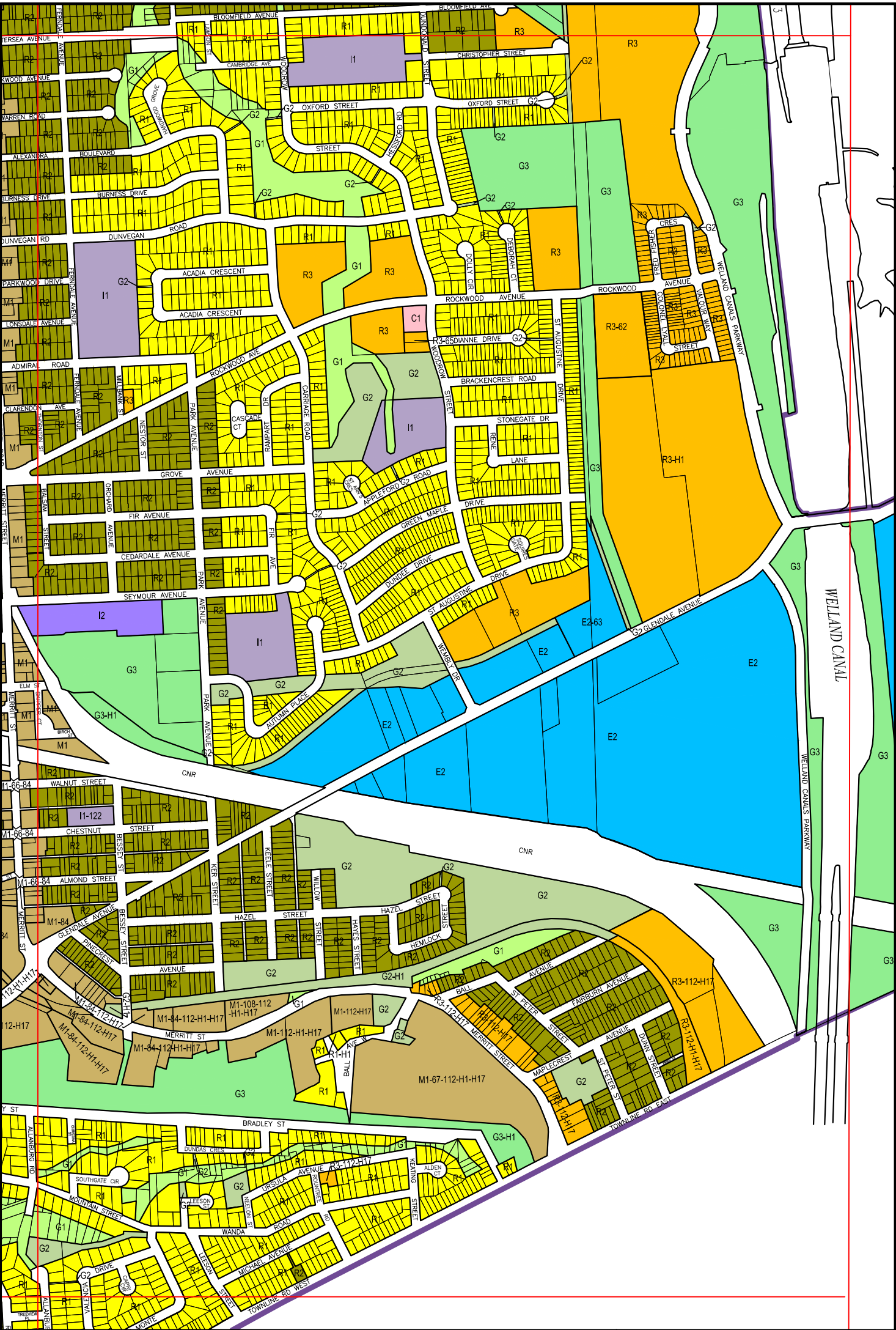


Zones

- | | |
|--|--|
| R1 Low Density Residential | M1 Medium Density Mixed Use |
| - Suburban Neighbourhood | M2 Medium / High Density Mixed Use |
| R2 Low Density Residential | M3 High Density Mixed Use |
| - Traditional Neighbourhood | G1 Conservation / Natural Area |
| R3 Medium Density Residential | G2 Minor Green Space |
| R4 High Density Residential | G3 Major Green Space |
| C1 Local Convenience Commercial | I1 Local Neighbourhood Institutional |
| C2 Community Commercial | I2 Community Institutional |
| C3 Arterial Commercial | I3 Major Institutional |
| C4 Major Commercial | A1 Agriculture |
| C5 Downtown Commercial Core | A2 Agriculture Only |
| C6 Downtown Traditional Main Street | A3 Agriculture Commercial / Industrial |
| E1 Business Commercial Employment |  Municipal Boundary |
| E2 General Employment | |



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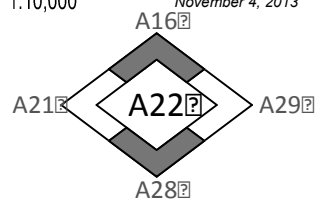


Zones

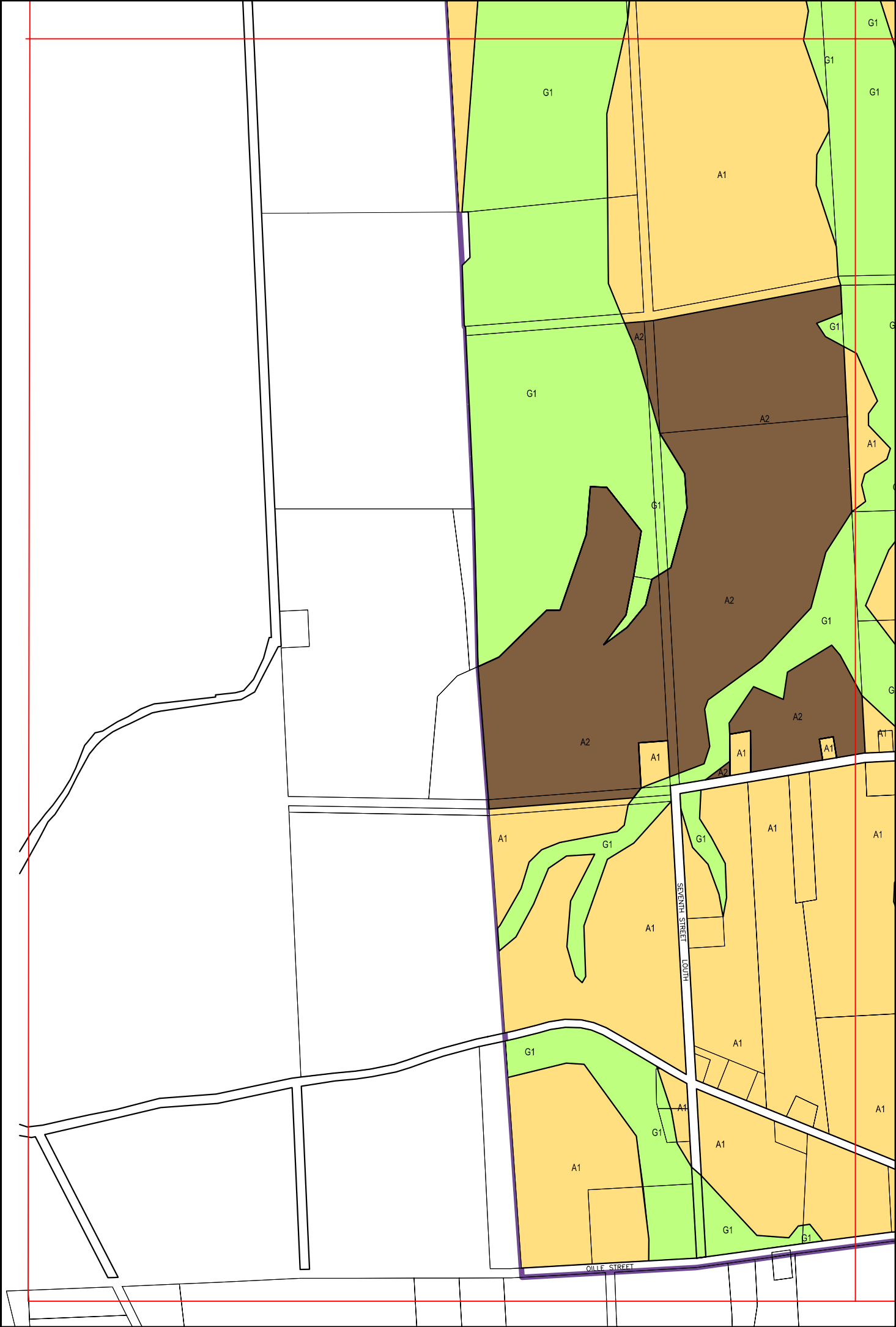
- | | |
|--|---|
| R1 Low Density Residential
- Suburban Neighbourhood | M1 Medium Density Mixed Use |
| R2 Low Density Residential
- Traditional Neighbourhood | M2 Medium / High Density Mixed Use |
| R3 Medium Density Residential | M3 High Density Mixed Use |
| R4 High Density Residential | G1 Conservation / Natural Area |
| C1 Local Convenience Commercial | G2 Minor Green Space |
| C2 Community Commercial | G3 Major Green Space |
| C3 Arterial Commercial | I1 Local Neighbourhood Institutional |
| C4 Major Commercial | I2 Community Institutional |
| C5 Downtown Commercial Core | I3 Major Institutional |
| C6 Downtown Traditional Main Street | A1 Agriculture |
| E1 Business Commercial Employment | A2 Agriculture Only |
| E2 General Employment | A3 Agriculture Commercial / Industrial |
| | — Municipal Boundary |



City of
St. Catharines
Zoning By-Law
November 4, 2013




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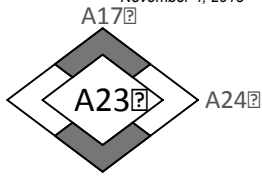


Zones

R1 Low Density Residential - Suburban Neighbourhood	M1 Medium Density Mixed Use
R2 Low Density Residential - Traditional Neighbourhood	M2 Medium / High Density Mixed Use
R3 Medium Density Residential	M3 High Density Mixed Use
R4 High Density Residential	G1 Conservation / Natural Area
C1 Local Convenience Commercial	G2 Minor Green Space
C2 Community Commercial	G3 Major Green Space
C3 Arterial Commercial	I1 Local Neighbourhood Institutional
C4 Major Commercial	I2 Community Institutional
C5 Downtown Commercial Core	I3 Major Institutional
C6 Downtown Traditional Main Street	A1 Agriculture
E1 Business Commercial Employment	A2 Agriculture Only
E2 General Employment	A3 Agriculture Commercial / Industrial
	MB Municipal Boundary

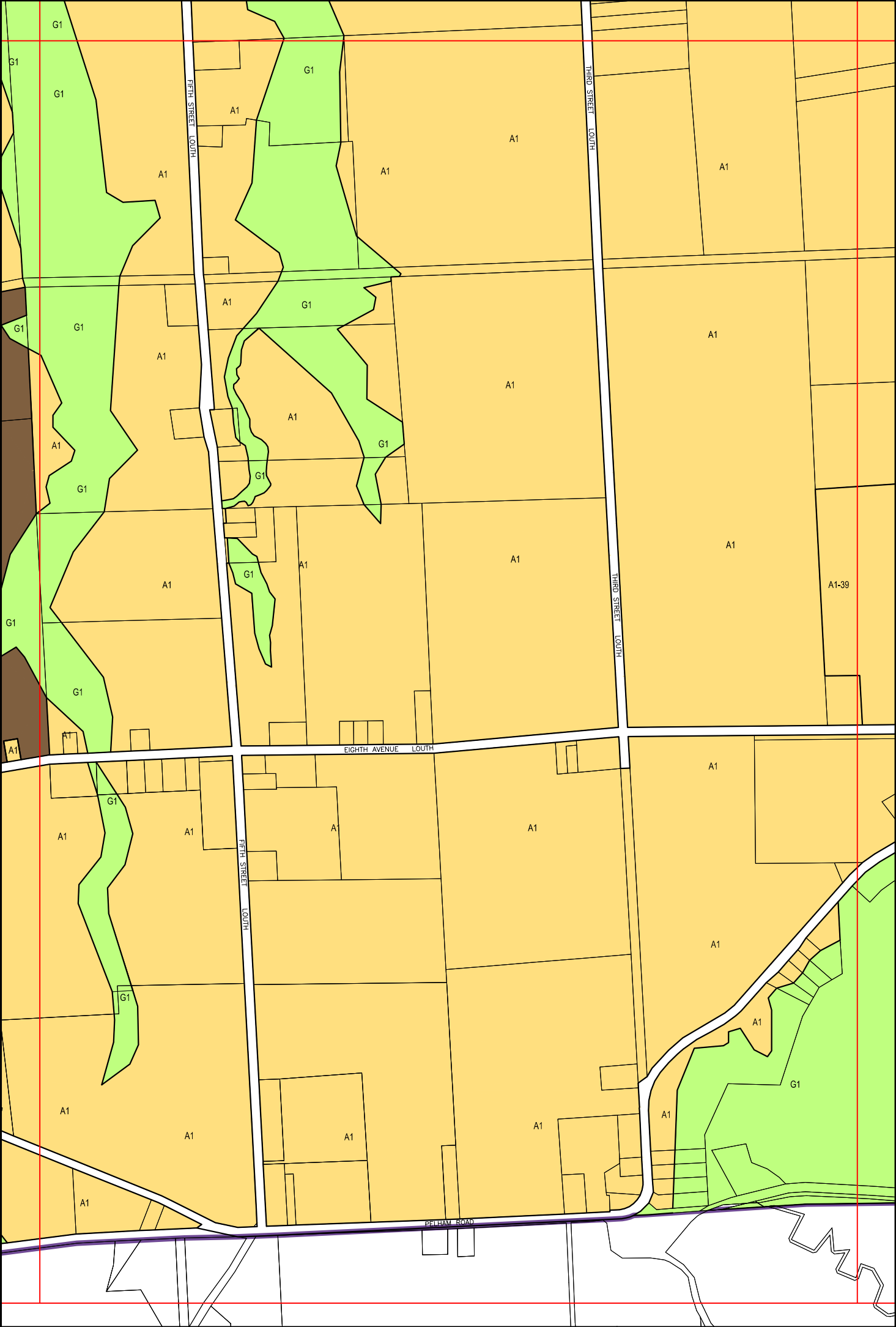


City of
St.Catharines
Zoning By-Law
November 4, 2013



A17
A23
A24

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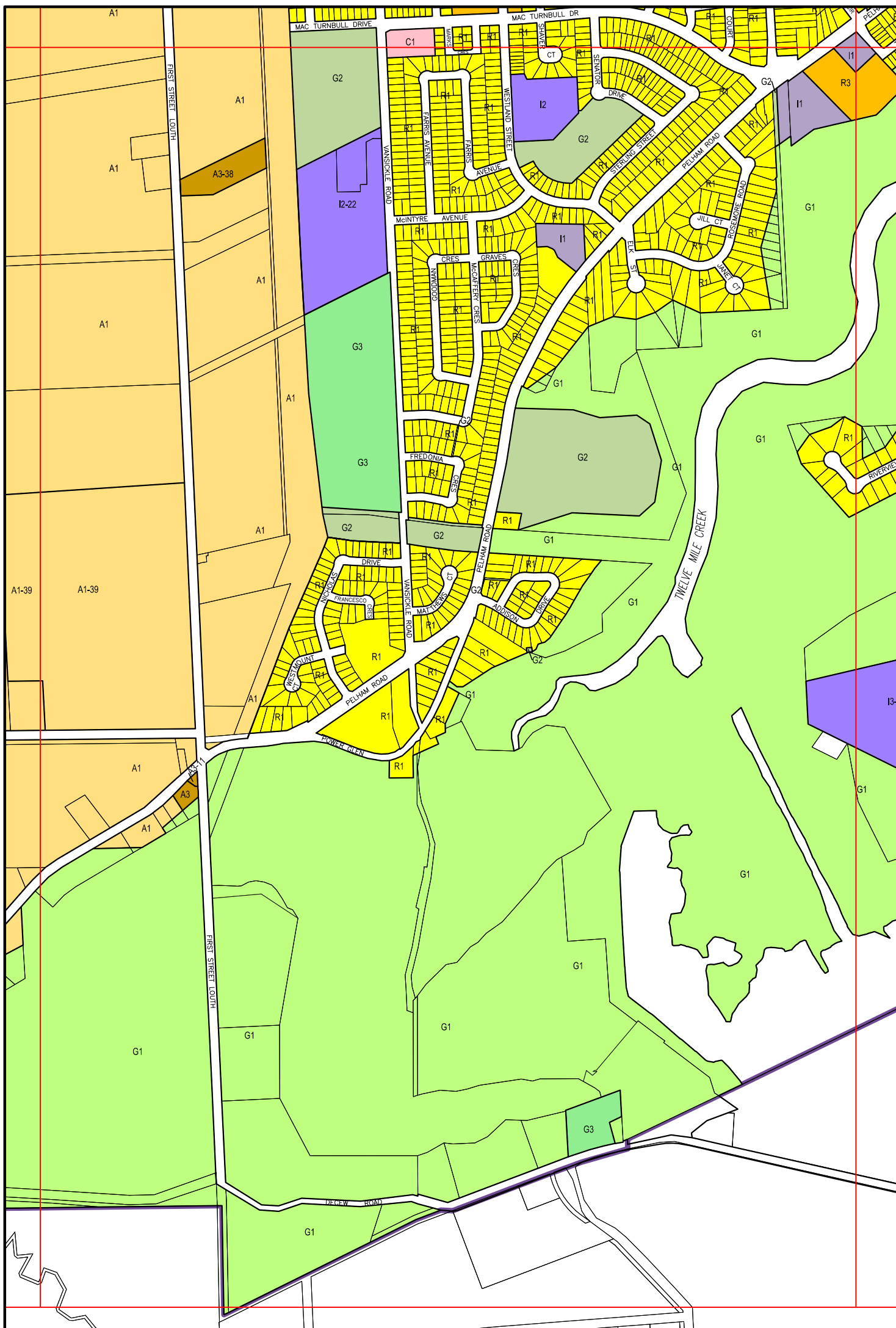


Zones	
R1 Low Density Residential - Suburban Neighbourhood	M1 Medium Density Mixed Use
R2 Low Density Residential - Traditional Neighbourhood	M2 Medium / High Density Mixed Use
R3 Medium Density Residential	M3 High Density Mixed Use
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C3 Arterial Commercial	I1 Local Neighbourhood Institutional
C4 Major Commercial	I2 Community Institutional
C5 Downtown Commercial Core	I3 Major Institutional
C6 Downtown Traditional Main Street	A1 Agriculture
E1 Business Commercial Employment	A2 Agriculture Only
E2 General Employment	A3 Agriculture Commercial / Industrial
	Municipal Boundary


City of
St.Catharines
Zoning By-Law
November 4, 2013

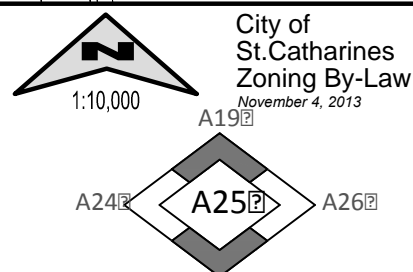
A24

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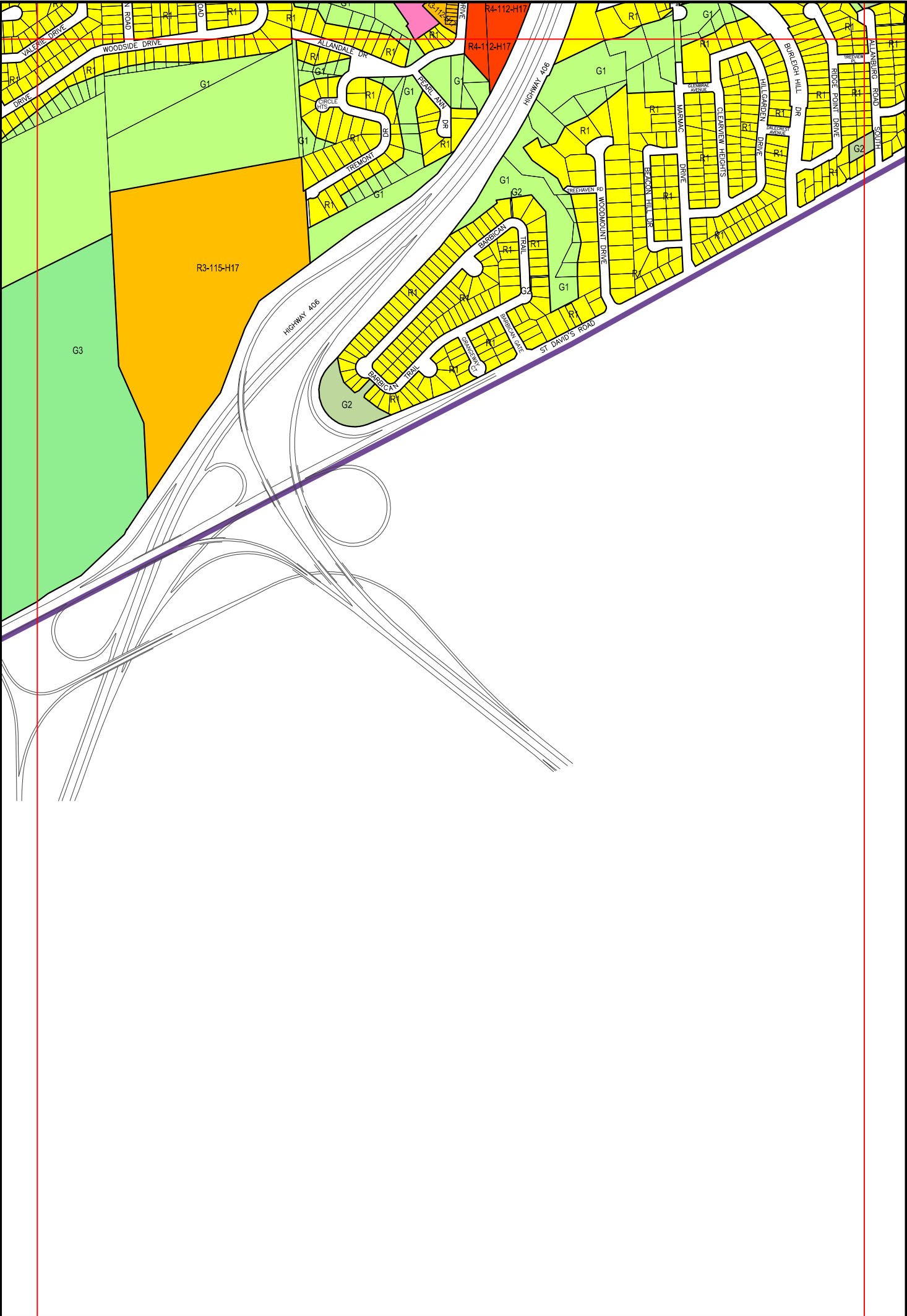


Zones

- | | |
|--|--|
| R1 Low Density Residential | M1 Medium Density Mixed Use |
| - Suburban Neighbourhood | M2 Medium / High Density Mixed Use |
| R2 Low Density Residential | M3 High Density Mixed Use |
| - Traditional Neighbourhood | G1 Conservation / Natural Area |
| R3 Medium Density Residential | G2 Minor Green Space |
| R4 High Density Residential | G3 Major Green Space |
| C1 Local Convenience Commercial | I1 Local Neighbourhood Institutional |
| C2 Community Commercial | I2 Community Institutional |
| C3 Arterial Commercial | I3 Major Institutional |
| C4 Major Commercial | A1 Agriculture |
| C5 Downtown Commercial Core | A2 Agriculture Only |
| C6 Downtown Traditional Main Street | A3 Agriculture Commercial / Industrial |
| E1 Business Commercial Employment |  Municipal Boundary |
| E2 General Employment | |



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Zones

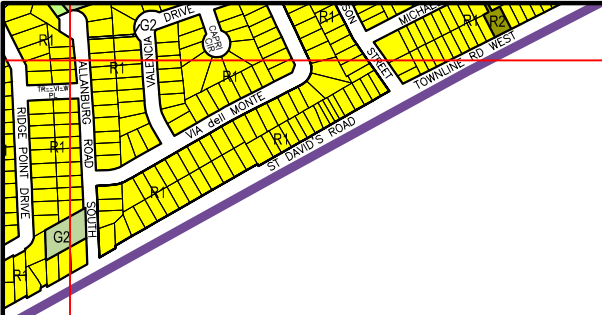
- | | |
|--|---|
| R1 Low Density Residential
- Suburban Neighbourhood | M1 Medium Density Mixed Use |
| R2 Low Density Residential
- Traditional Neighbourhood | M2 Medium / High Density Mixed Use |
| R3 Medium Density Residential | M3 High Density Mixed Use |
| R4 High Density Residential | G1 Conservation / Natural Area |
| C1 Local Convenience Commercial | G2 Minor Green Space |
| C2 Community Commercial | G3 Major Green Space |
| C3 Arterial Commercial | I1 Local Neighbourhood Institutional |
| C4 Major Commercial | I2 Community Institutional |
| C5 Downtown Commercial Core | I3 Major Institutional |
| C6 Downtown Traditional Main Street | A1 Agriculture |
| E1 Business Commercial Employment | A2 Agriculture Only |
| E2 General Employment | A3 Agriculture Commercial / Industrial |
| | Municipal Boundary |

1:10,000

City of
St.Catharines
Zoning By-Law
November 4, 2013


A21
A26
A27
A28

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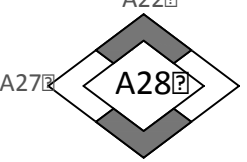


Zones

R1 Low Density Residential - Suburban Neighbourhood	M1 Medium Density Mixed Use
R2 Low Density Residential - Traditional Neighbourhood	M2 Medium / High Density Mixed Use
R3 Medium Density Residential	M3 High Density Mixed Use
R4 High Density Residential	G1 Conservation / Natural Area
C1 Local Convenience Commercial	G2 Minor Green Space
C2 Community Commercial	G3 Major Green Space
C3 Arterial Commercial	I1 Local Neighbourhood Institutional
C4 Major Commercial	I2 Community Institutional
C5 Downtown Commercial Core	I3 Major Institutional
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E2 General Employment	A3 Agriculture Commercial / Industrial
	— Municipal Boundary



City of
St.Catharines
Zoning By-Law
November 4, 2013



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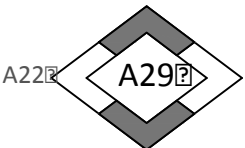


Zones

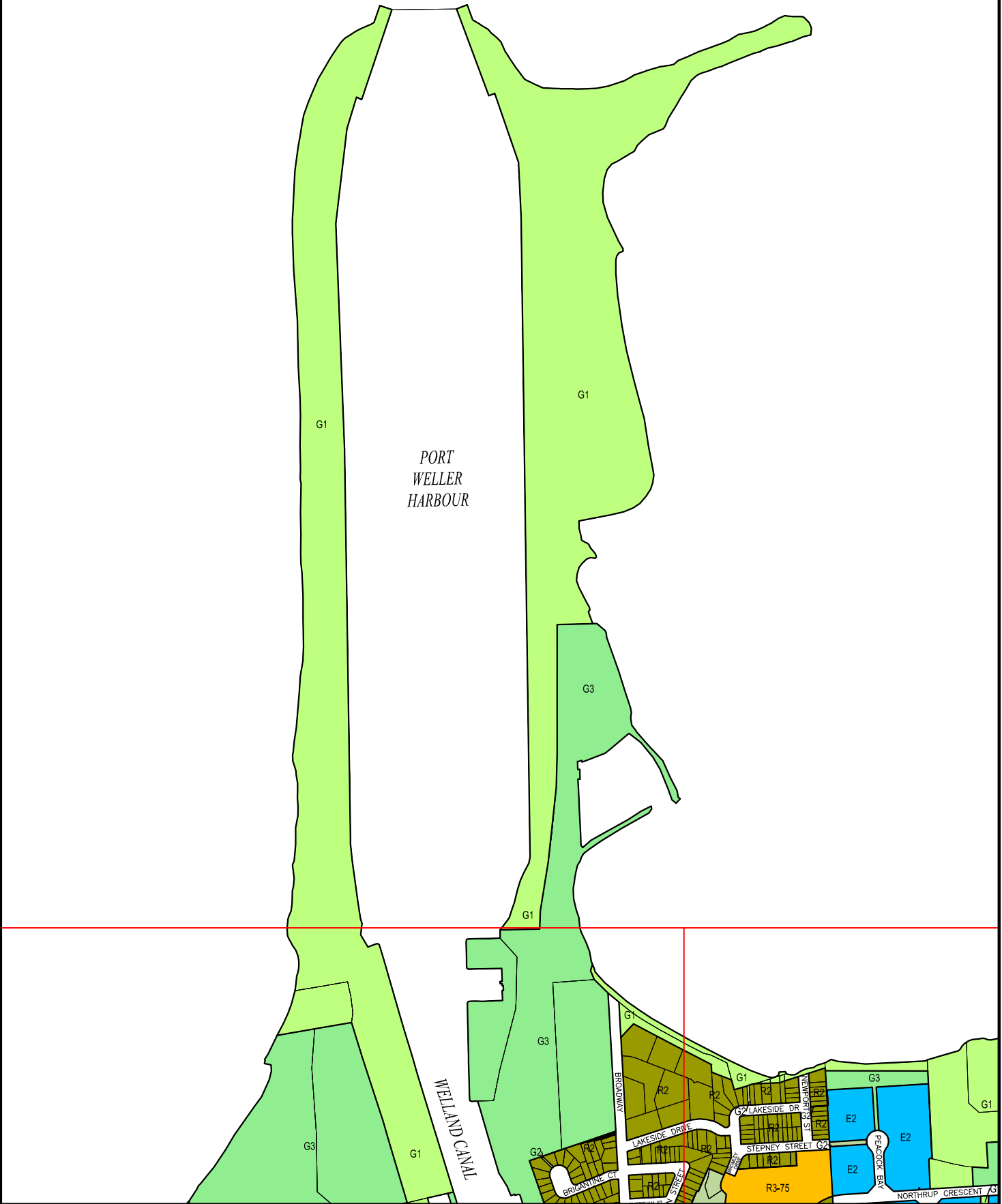
- | | |
|--|---|
| R1 Low Density Residential
- Suburban Neighbourhood | M1 Medium Density Mixed Use |
| R2 Low Density Residential
- Traditional Neighbourhood | M2 Medium / High Density Mixed Use |
| R3 Medium Density Residential | M3 High Density Mixed Use |
| R4 High Density Residential | G1 Conservation / Natural Area |
| C1 Local Convenience Commercial | G2 Minor Green Space |
| C2 Community Commercial | G3 Major Green Space |
| C3 Arterial Commercial | I1 Local Neighbourhood Institutional |
| C4 Major Commercial | I2 Community Institutional |
| C5 Downtown Commercial Core | I3 Major Institutional |
| C6 Downtown Traditional Main Street | A1 Agriculture |
| E1 Business Commercial Employment | A2 Agriculture Only |
| E2 General Employment | A3 Agriculture Commercial / Industrial |
| | — Municipal Boundary |



City of
St.Catharines
Zoning By-Law
November 4, 2013



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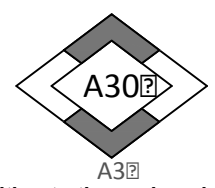


Zones

R1 Low Density Residential - Suburban Neighbourhood	M1 Medium Density Mixed Use
R2 Low Density Residential - Traditional Neighbourhood	M2 Medium / High Density Mixed Use
R3 Medium Density Residential	M3 High Density Mixed Use
R4 High Density Residential	G1 Conservation / Natural Area
C1 Local Convenience Commercial	G2 Minor Green Space
C2 Community Commercial	G3 Major Green Space
C3 Arterial Commercial	I1 Local Neighbourhood Institutional
C4 Major Commercial	I2 Community Institutional
C5 Downtown Commercial Core	I3 Major Institutional
C6 Downtown Traditional Main Street	A1 Agriculture
E1 Business Commercial Employment	A2 Agriculture Only
E2 General Employment	A3 Agriculture Commercial / Industrial
	Municipal Boundary



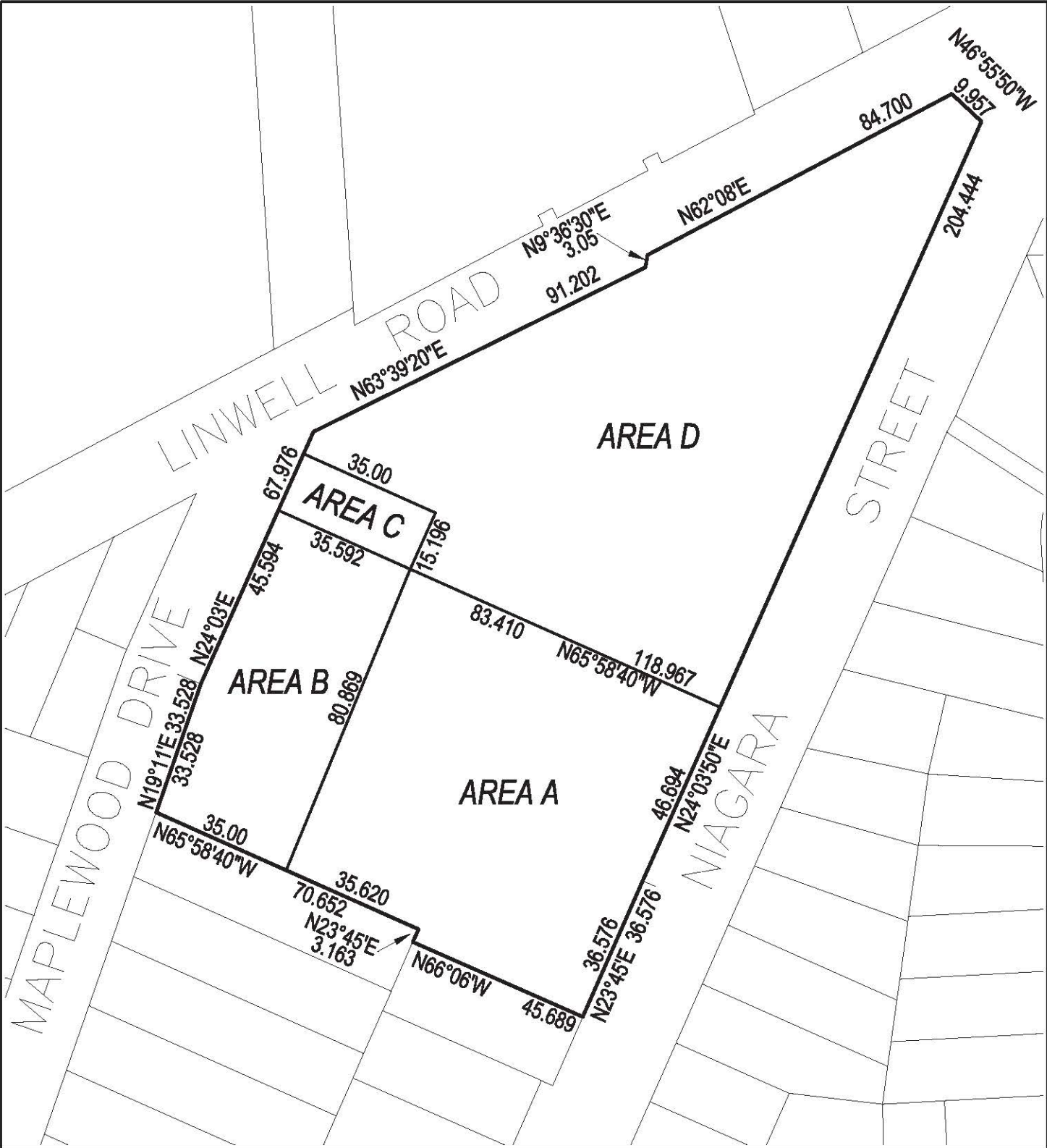
City of
St.Catharines
Zoning By-Law
November 4, 2013



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15.2 Schedule B – Lot Specific Maps for Special Provisions


SPECIAL PROVISION	SCHEDULE A	SCHEDULE B	LOCATION	BY-LAW
2	9	1	585 Niagara Street	



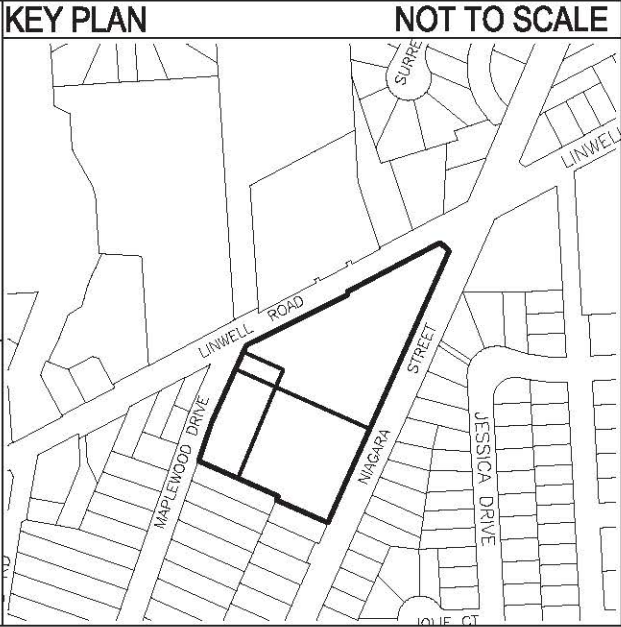
AN ILLUSTRATION SHOWING

Part Lot 13, Concession 3; Lots 27 & 28 Registered Plan TP-192

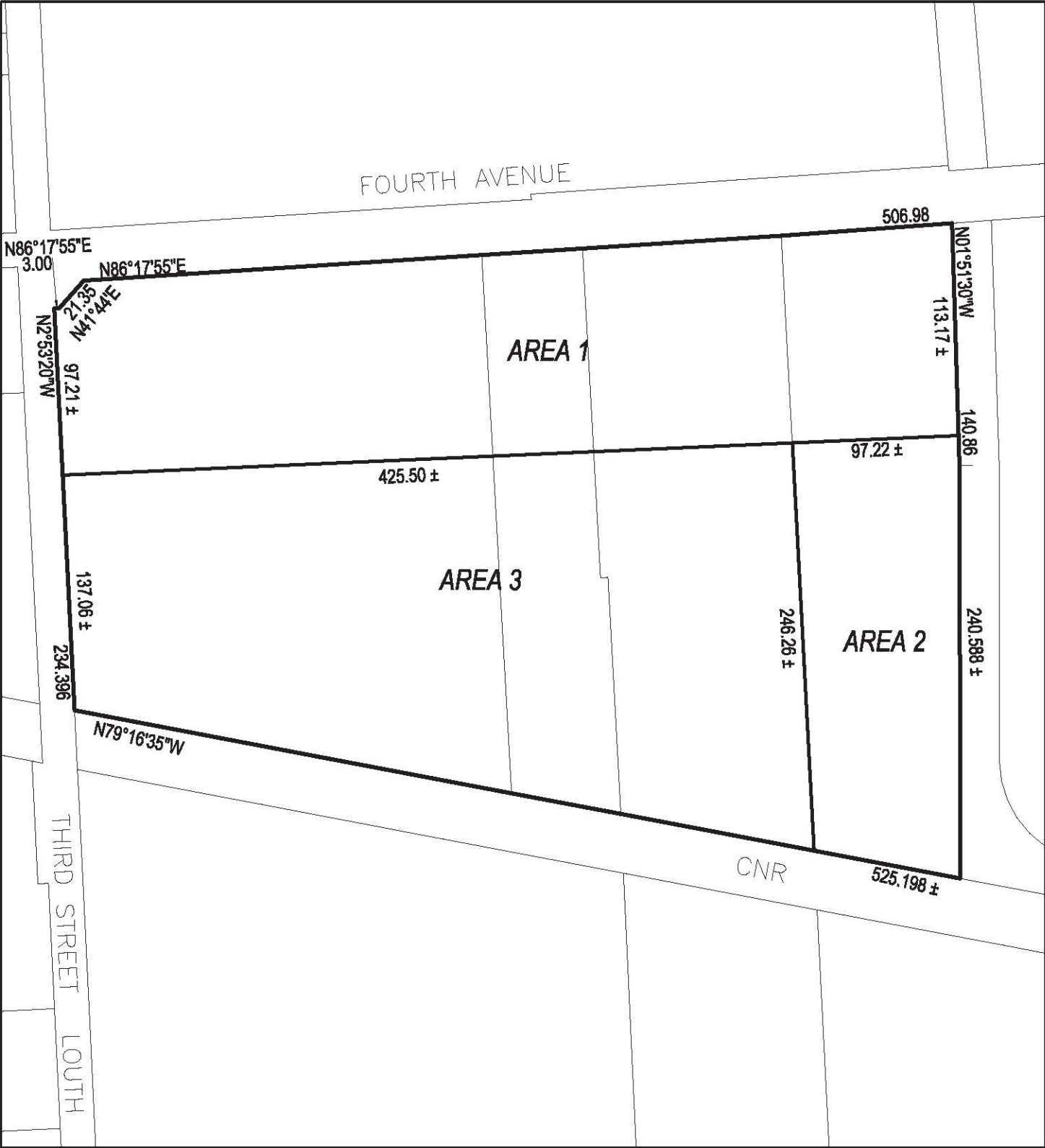
IN THE CITY OF ST.CATHARINES REGIONAL MUNICIPALITY OF NIAGARA



DISTANCES SHOWN ARE IN METRES
NOT TO SCALE



SPECIAL PROVISION	SCHEDULE A	SCHEDULE B	LOCATION	BY-LAW
5	18	2	1242, 1262, 1290 & 1296 Fourth Avenue	

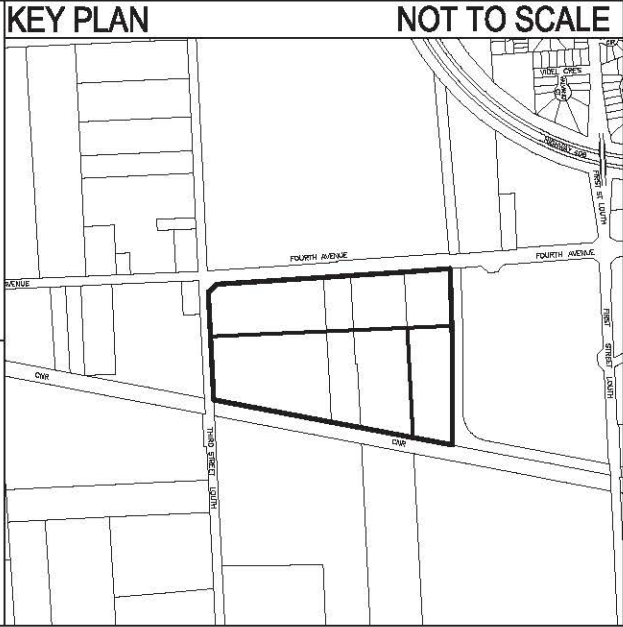


AN ILLUSTRATION SHOWING

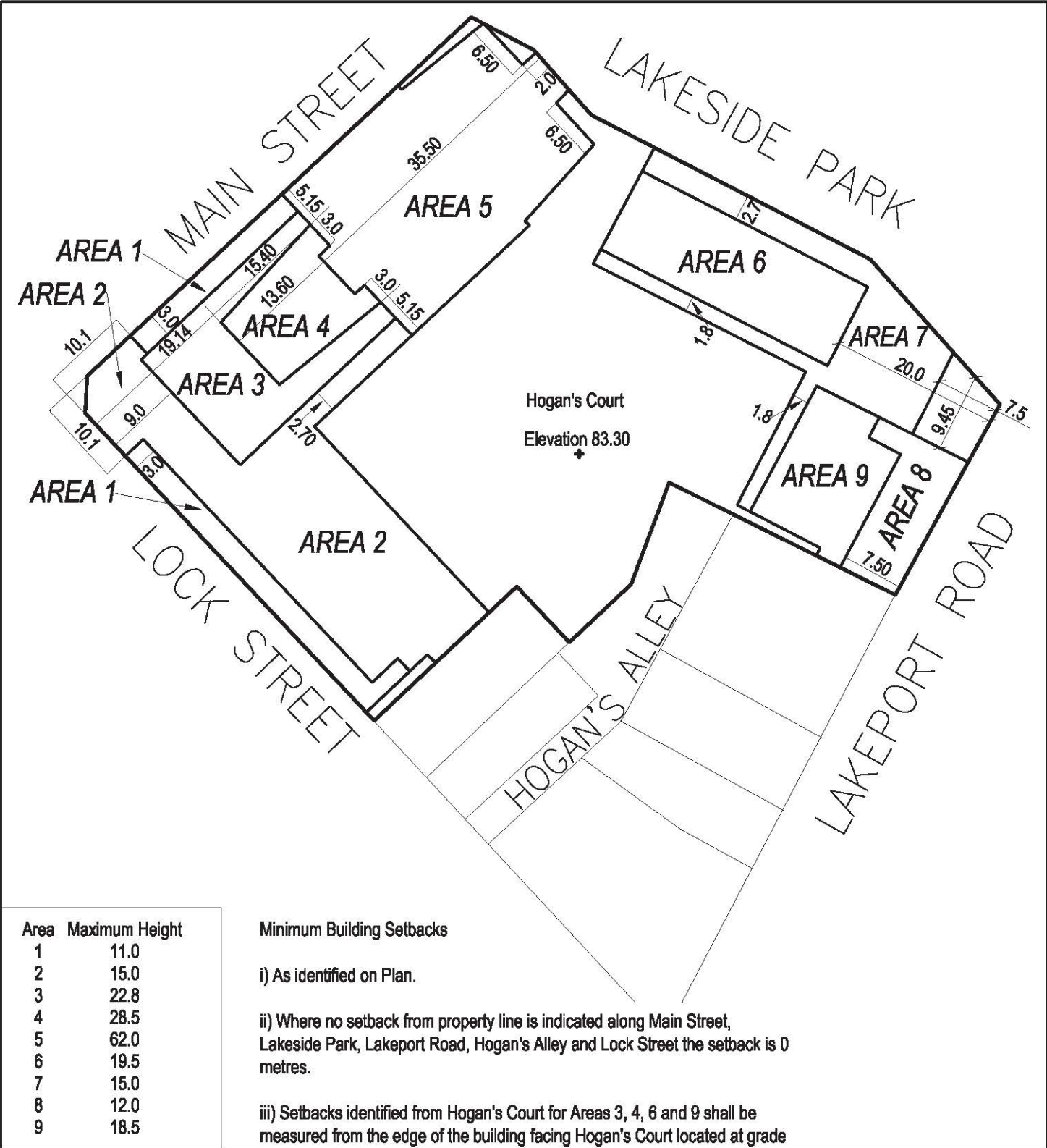
Part Lots 1 & 2, Concession 4

IN THE CITY OF ST.CATHARINES REGIONAL MUNICIPALITY OF NIAGARA

DISTANCES SHOWN ARE IN METRES
NOT TO SCALE



SPECIAL PROVISION	SCHEDULE A	SCHEDULE B	LOCATION	BY-LAW
8	7	3 b	16 Lock Street; 12 Lakeport Road	

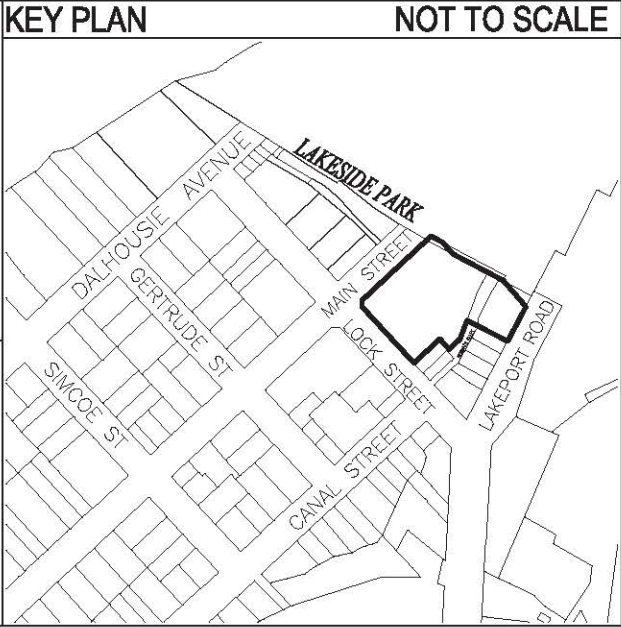


AN ILLUSTRATION SHOWING

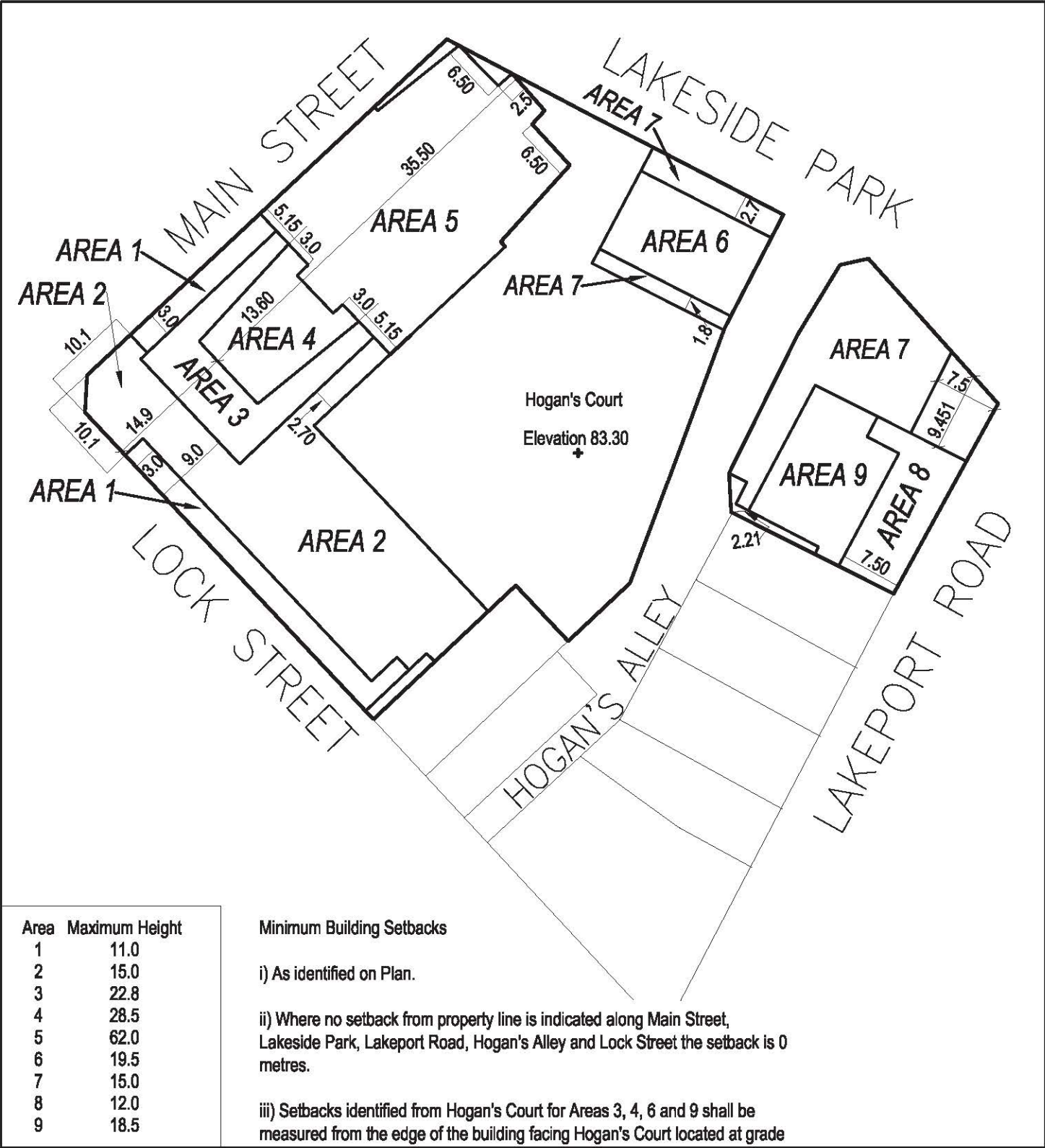
Lots 3, 4, 5, 6, 7, 14, 16 & Part of Lot 2 & Part of the unnamed public alley Registrar's Compiled Plan 696

IN THE CITY OF ST.CATHARINES REGIONAL MUNICIPALITY OF NIAGARA

DISTANCES SHOWN ARE IN METRES
NOT TO SCALE



SPECIAL PROVISION	SCHEDULE A	SCHEDULE B	LOCATION	BY-LAW
8	7	3 c	16 Lock Street; 12 Lakeport Road	

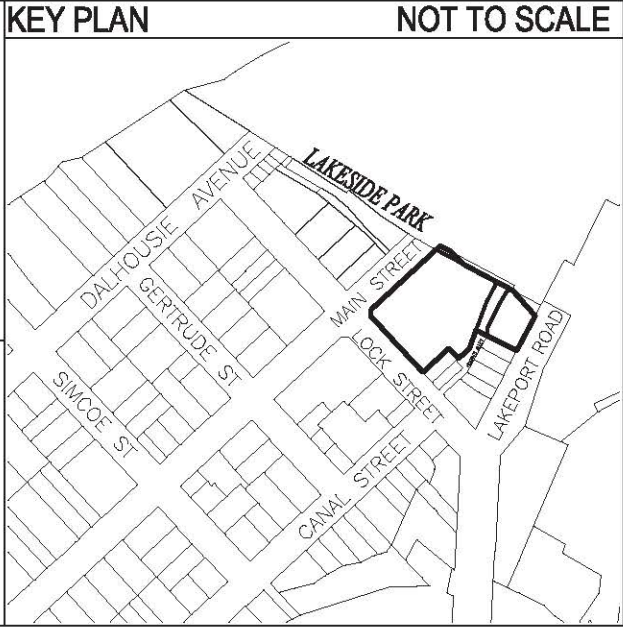


AN ILLUSTRATION SHOWING

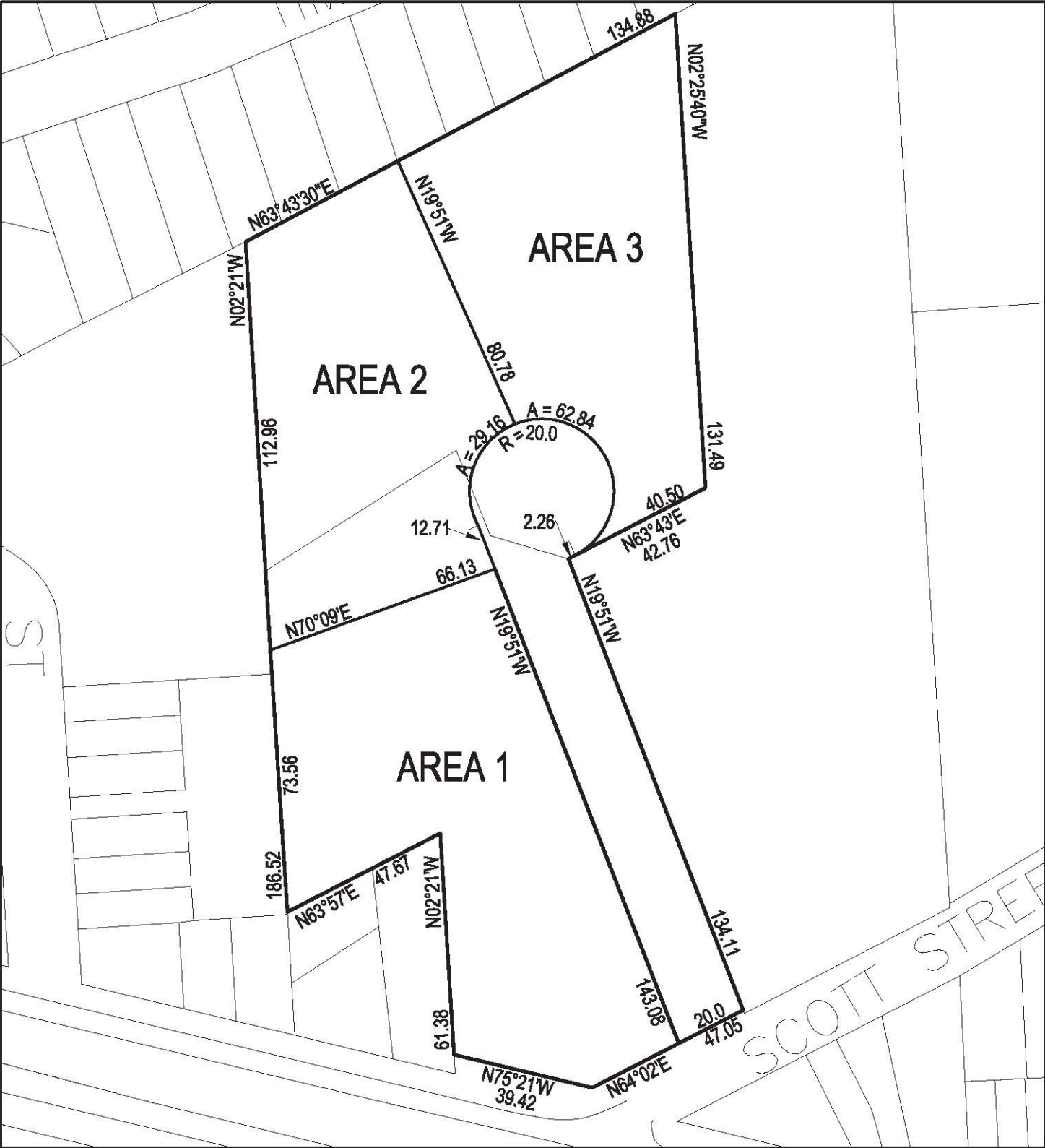
Lots 3, 4, 5, 6, 7, 14, 16 & Part of Lot 2 & Part of the unnamed public alley Registrar's Compiled Plan 696

IN THE CITY OF ST.CATHARINES REGIONAL MUNICIPALITY OF NIAGARA

DISTANCES SHOWN ARE IN METRES
NOT TO SCALE



SPECIAL PROVISION	SCHEDULE A	SCHEDULE B	LOCATION	BY-LAW
13	7, 13	4 a	81 & 85 Scott Street	



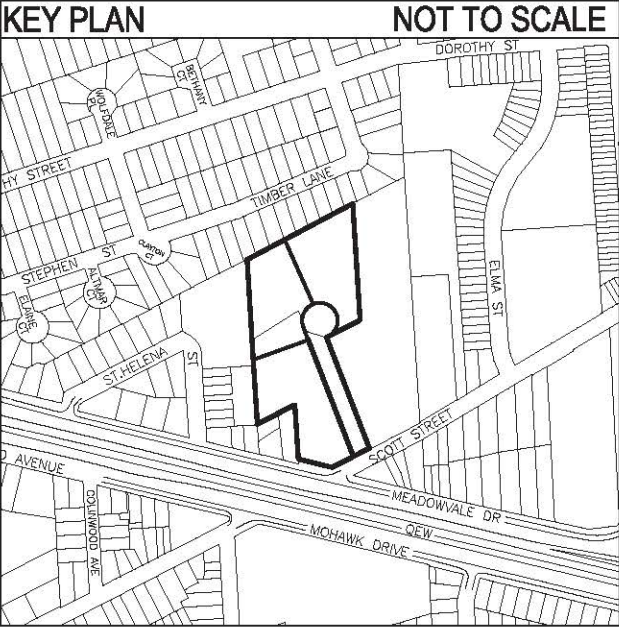
AN ILLUSTRATION SHOWING

Part Lot 20, Concession 3;
Parts 1-34, 65-67,73,98 & 99 on Reference Plan 30R-6344

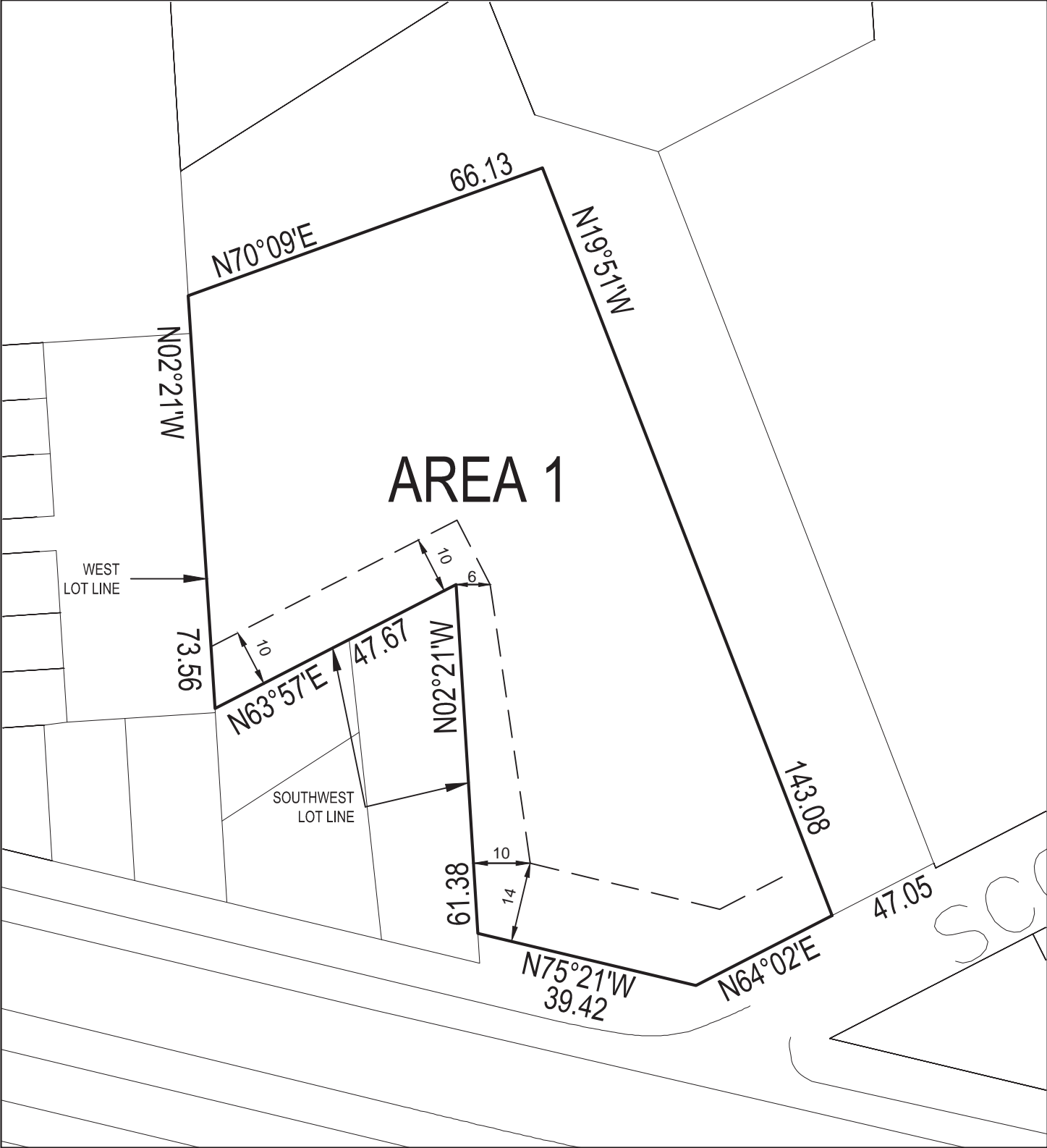
IN THE CITY OF ST.CATHARINES REGIONAL
MUNICIPALITY OF NIAGARA



DISTANCES SHOWN ARE IN METRES
NOT TO SCALE




SPECIAL PROVISION	SCHEDULE A	SCHEDULE B	LOCATION	BY-LAW
13	7, 13	4 b	81 Scott Street	



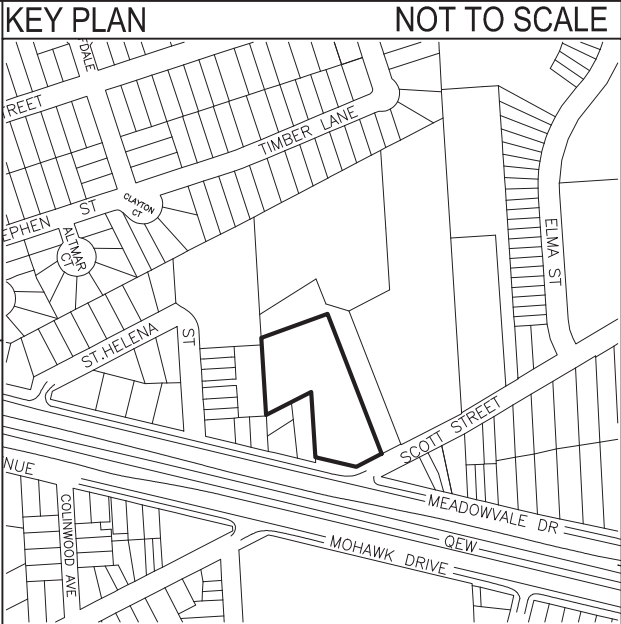
AN ILLUSTRATION SHOWING

Part Lot 20, Concession 3;
Parts 1-34, 65-67,73,98 & 99 on Reference Plan 30R-6344

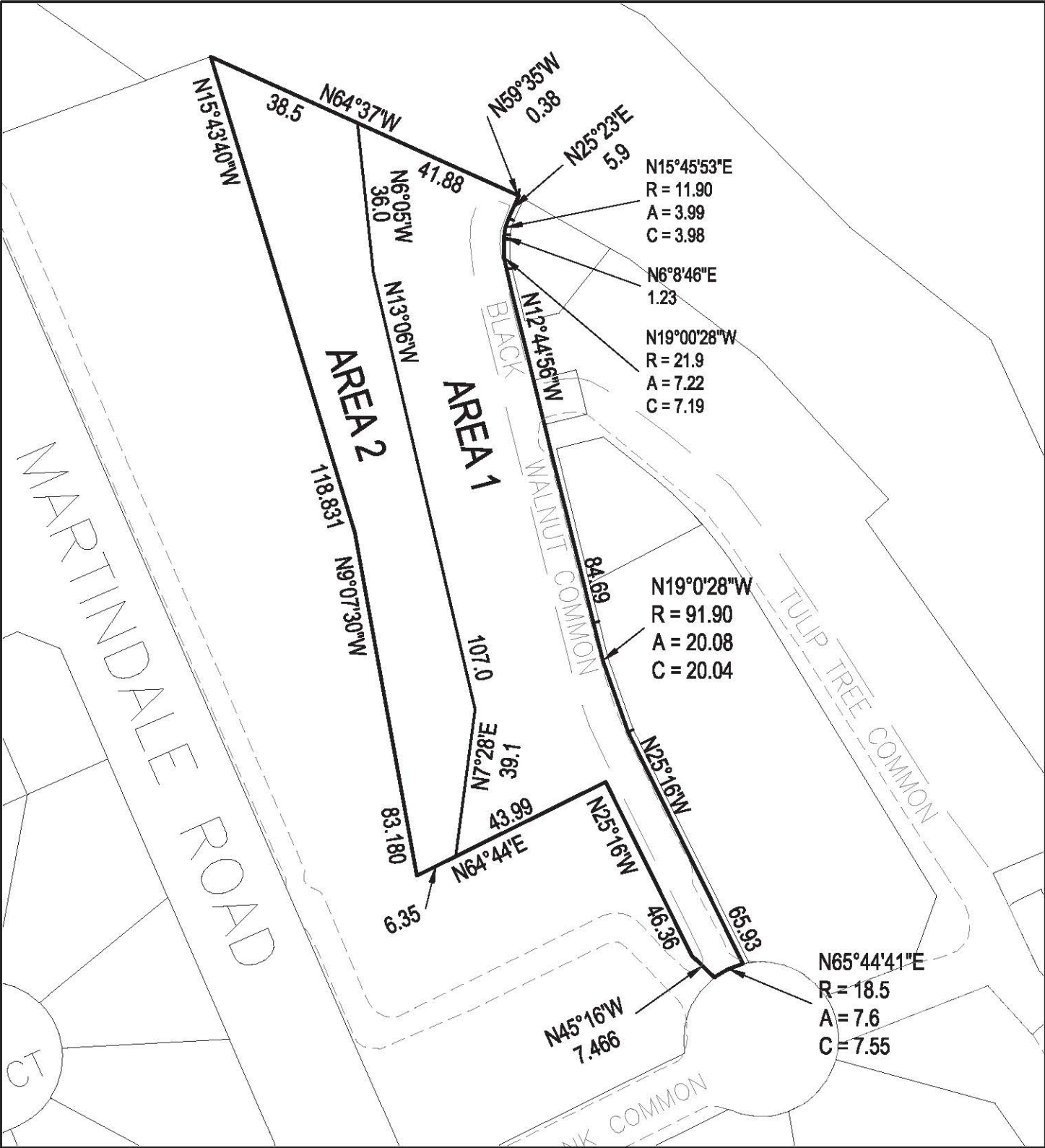
IN THE CITY OF ST.CATHARINES REGIONAL
MUNICIPALITY OF NIAGARA



DISTANCES SHOWN ARE IN METRES
NOT TO SCALE




SPECIAL PROVISION	SCHEDULE A	SCHEDULE B	LOCATION	BY-LAW
15	13	6	172 Martindale Road 1 - 31 Black Walnut Common	



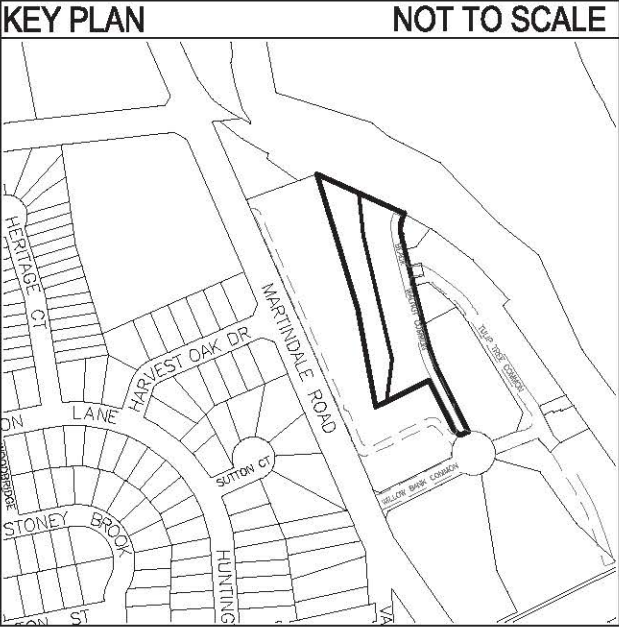
AN ILLUSTRATION SHOWING

Part Lot 4, Registered Plan 30M-167

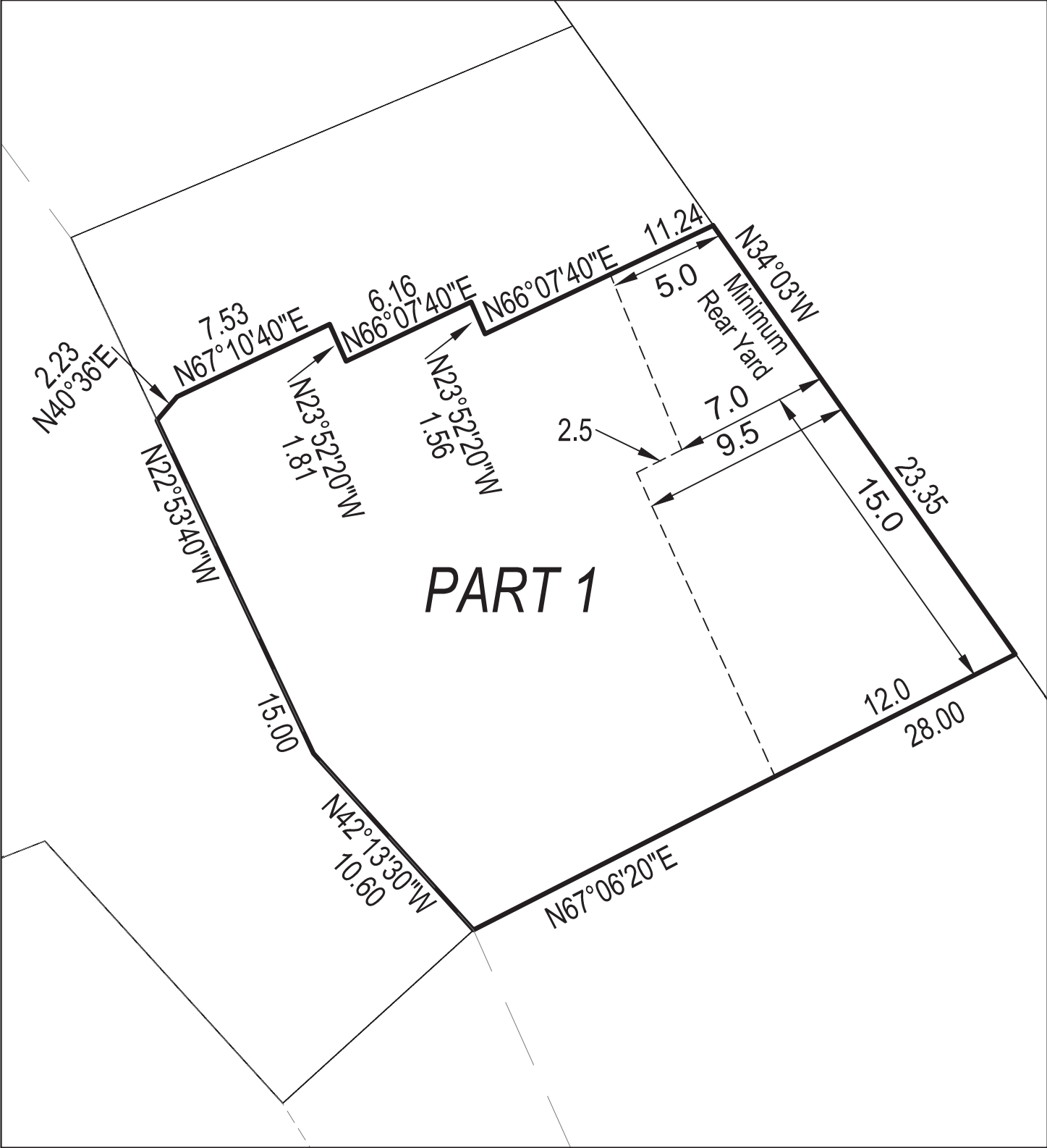
IN THE CITY OF ST.CATHARINES REGIONAL
MUNICIPALITY OF NIAGARA



DISTANCES SHOWN ARE IN METRES
NOT TO SCALE



SPECIAL PROVISION	SCHEDULE A	SCHEDULE B	LOCATION	BY-LAW
16	13	7	40 Tulip Tree Common	



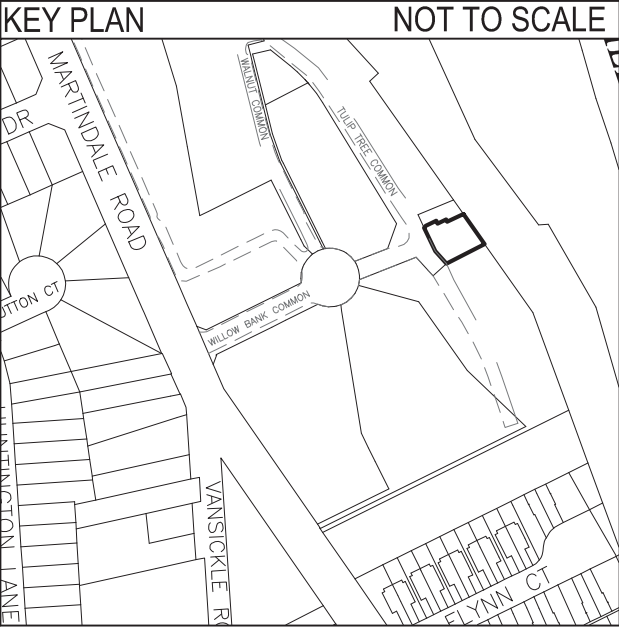
AN ILLUSTRATION SHOWING

Part Lot 3, Registered Plan 30M-167; Designated as Part 2 on Reference Plan 30R-13221

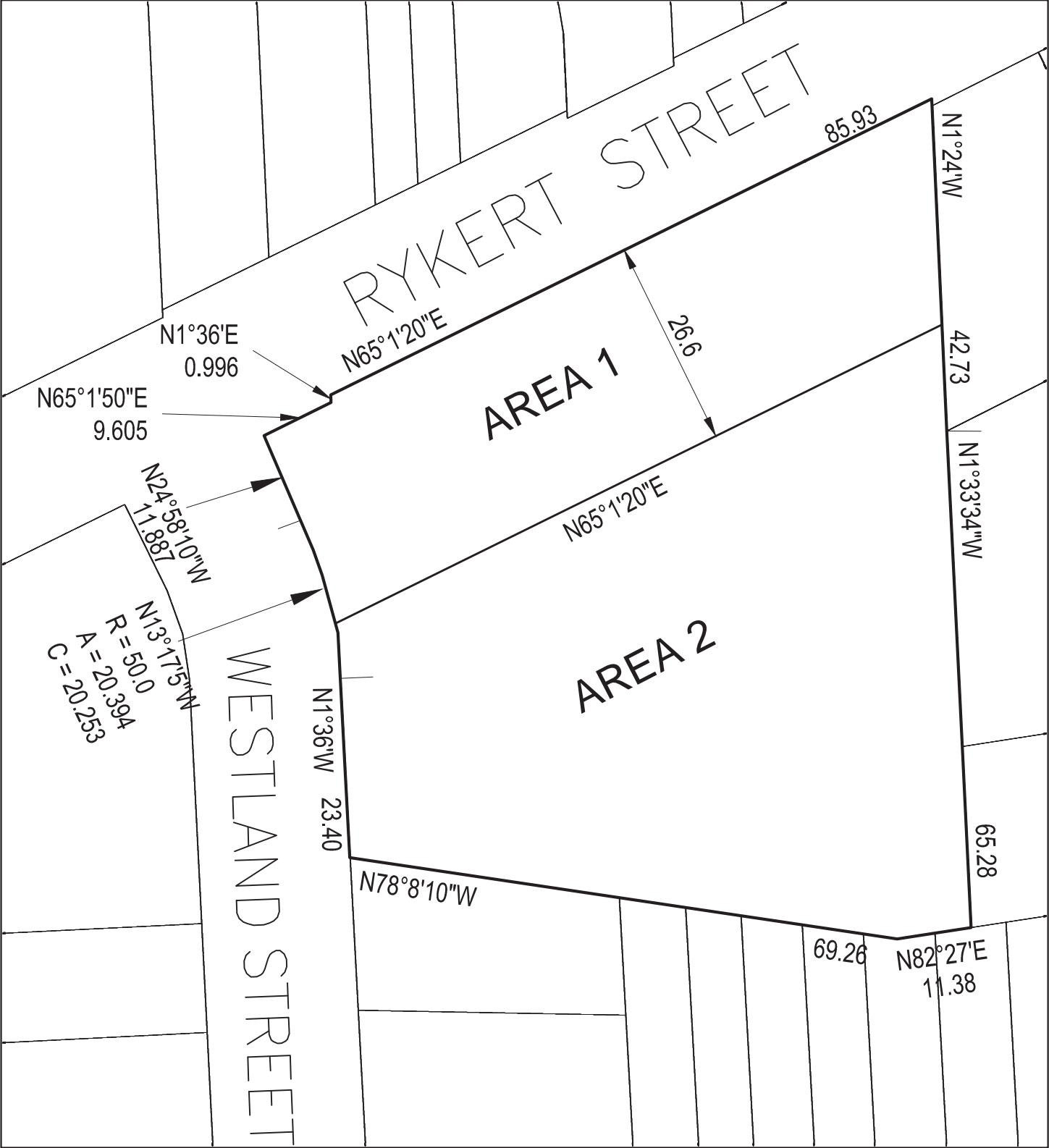
IN THE CITY OF ST.CATHARINES REGIONAL MUNICIPALITY OF NIAGARA



DISTANCES SHOWN ARE IN METRES
NOT TO SCALE



SPECIAL PROVISION	SCHEDULE A	SCHEDULE B	LOCATION	BY-LAW
23	19	8 a	179 Rykert Street	



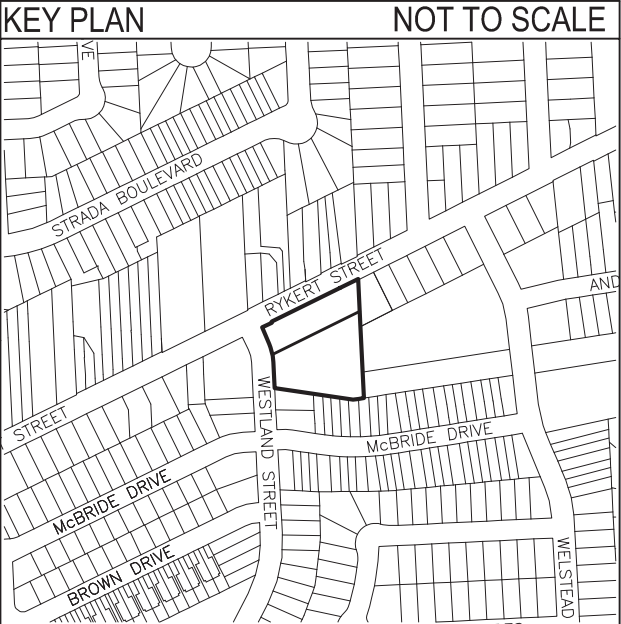
AN ILLUSTRATION SHOWING

Part Lot 22, Concession 8; Designated as Parts 1 & 2 on Reference Plan 30R-10777 & Block 45 on Registered Plan 30M-210

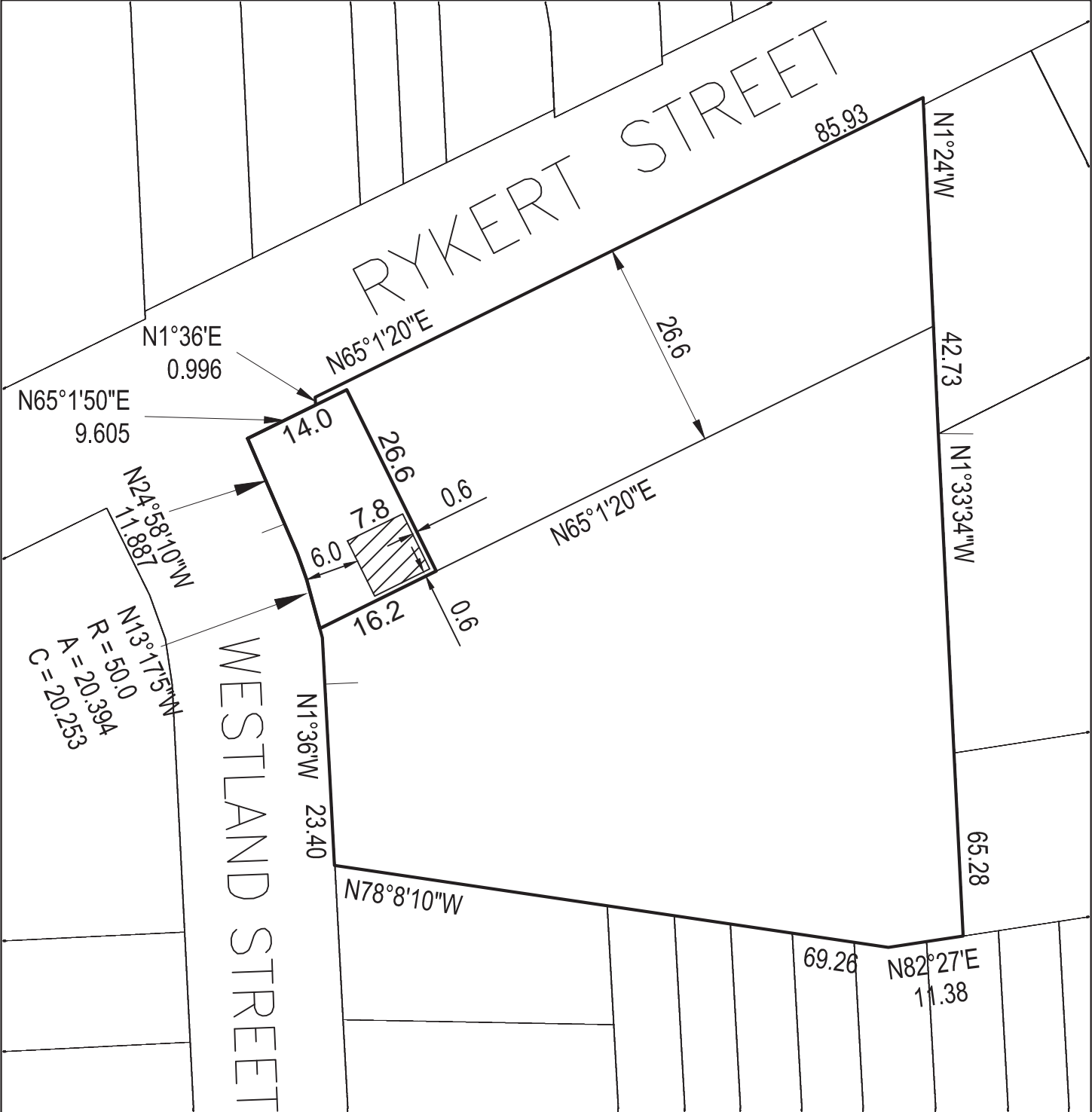
IN THE CITY OF ST.CATHARINES REGIONAL MUNICIPALITY OF NIAGARA



DISTANCES SHOWN ARE IN METRES
NOT TO SCALE



SPECIAL PROVISION	SCHEDULE A	SCHEDULE B	LOCATION	BY-LAW
23	19	8 b	179 Rykert Street	



 INDICATES BUILDING ENVELOPE FOR GARAGE

AN ILLUSTRATION SHOWING

Part Lot 22, Concession 8; Designated as Parts 1 & 2 on
Reference Plan 30R-10777 & Block 45 on Registered Plan
30M-210

IN THE CITY OF ST.CATHARINES REGIONAL
MUNICIPALITY OF NIAGARA

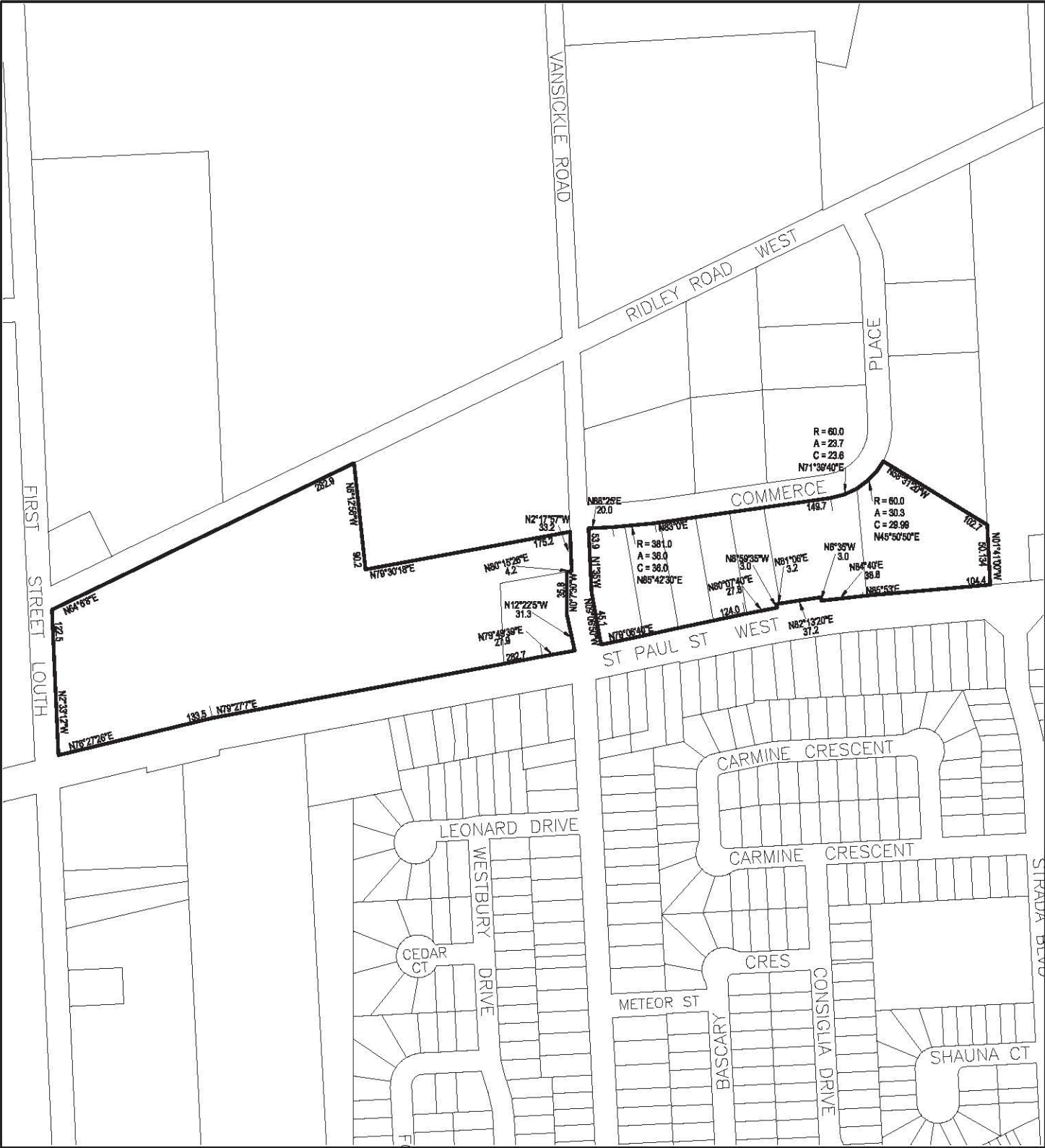


DISTANCES SHOWN ARE IN METRES
NOT TO SCALE

KEY PLAN NOT TO SCALE



SPECIAL PROVISION	SCHEDULE A	SCHEDULE B	LOCATION	BY-LAW
26	19	9	326 & 362 St. Paul Street West; 10 - 66 Commerce Place	



AN ILLUSTRATION SHOWING

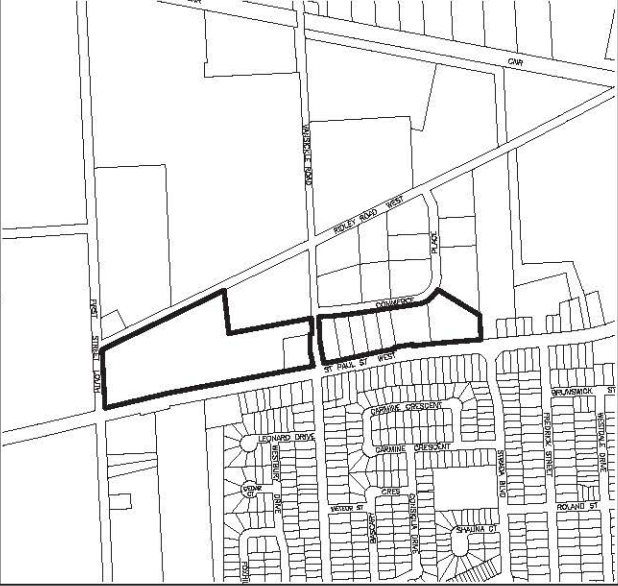
Part Lot 23, Concession 7 & Lots 8, 9, 10 & 11 on Registered Plan 30M-191

IN THE CITY OF ST.CATHARINES REGIONAL MUNICIPALITY OF NIAGARA

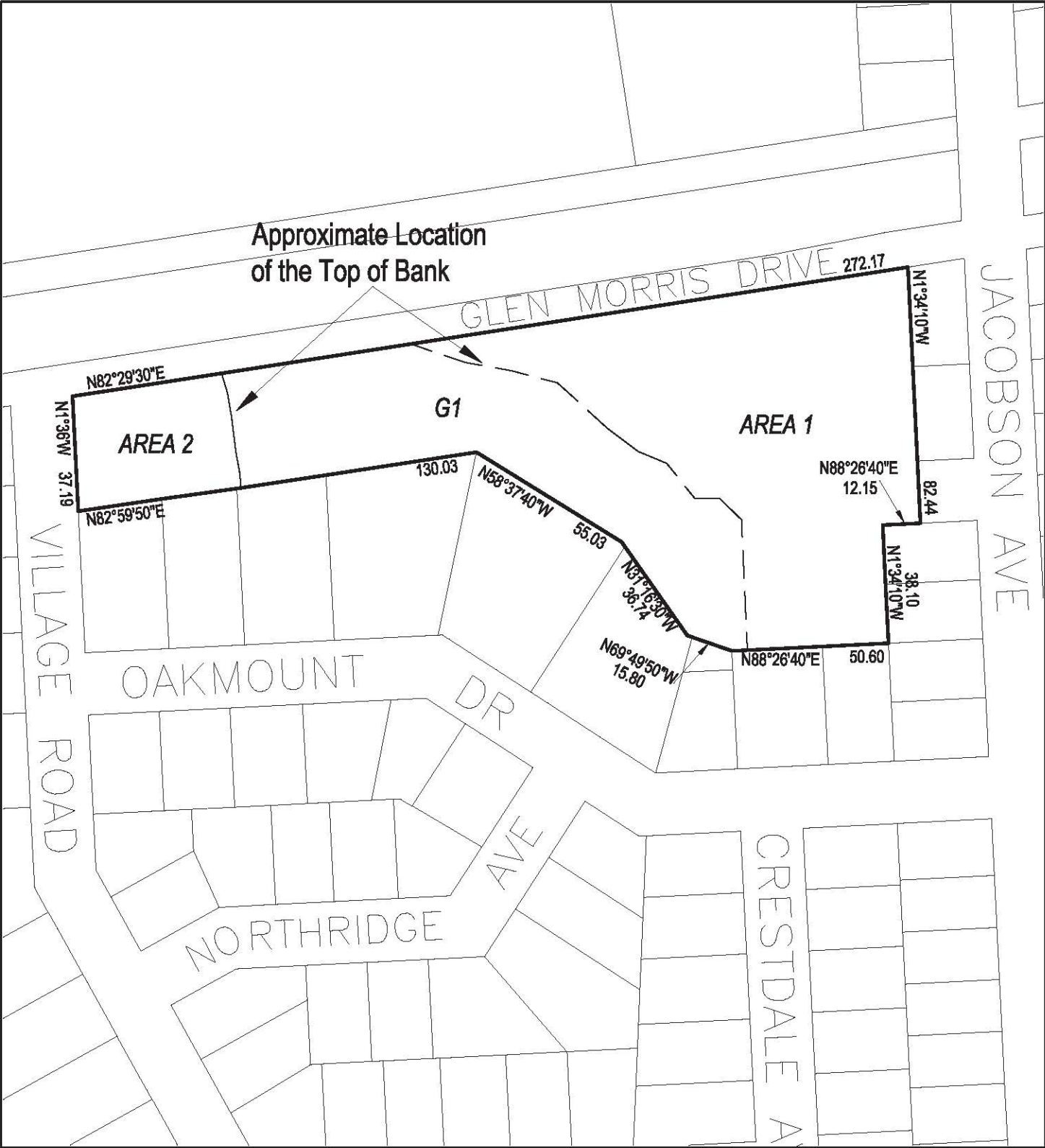


DISTANCES SHOWN ARE IN METRES
NOT TO SCALE

KEY PLAN NOT TO SCALE




SPECIAL PROVISION	SCHEDULE A	SCHEDULE B	LOCATION	BY-LAW
28	21	10	61 Village Road	



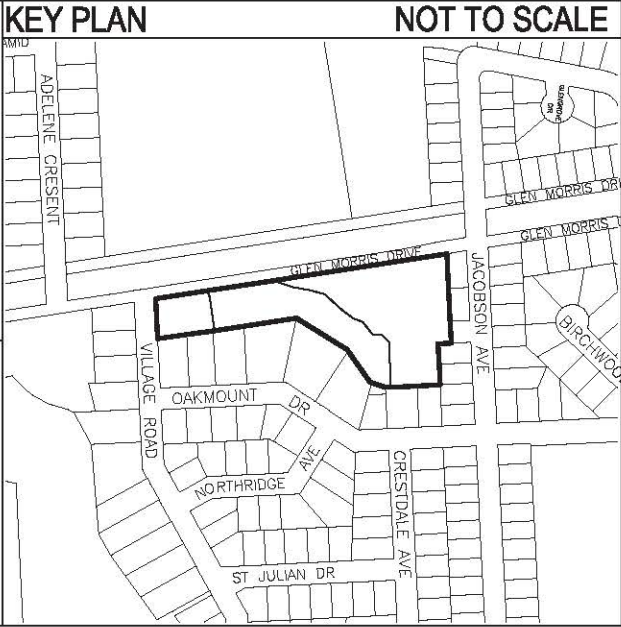
AN ILLUSTRATION SHOWING

Part Lots 14 & 15, Concession 9

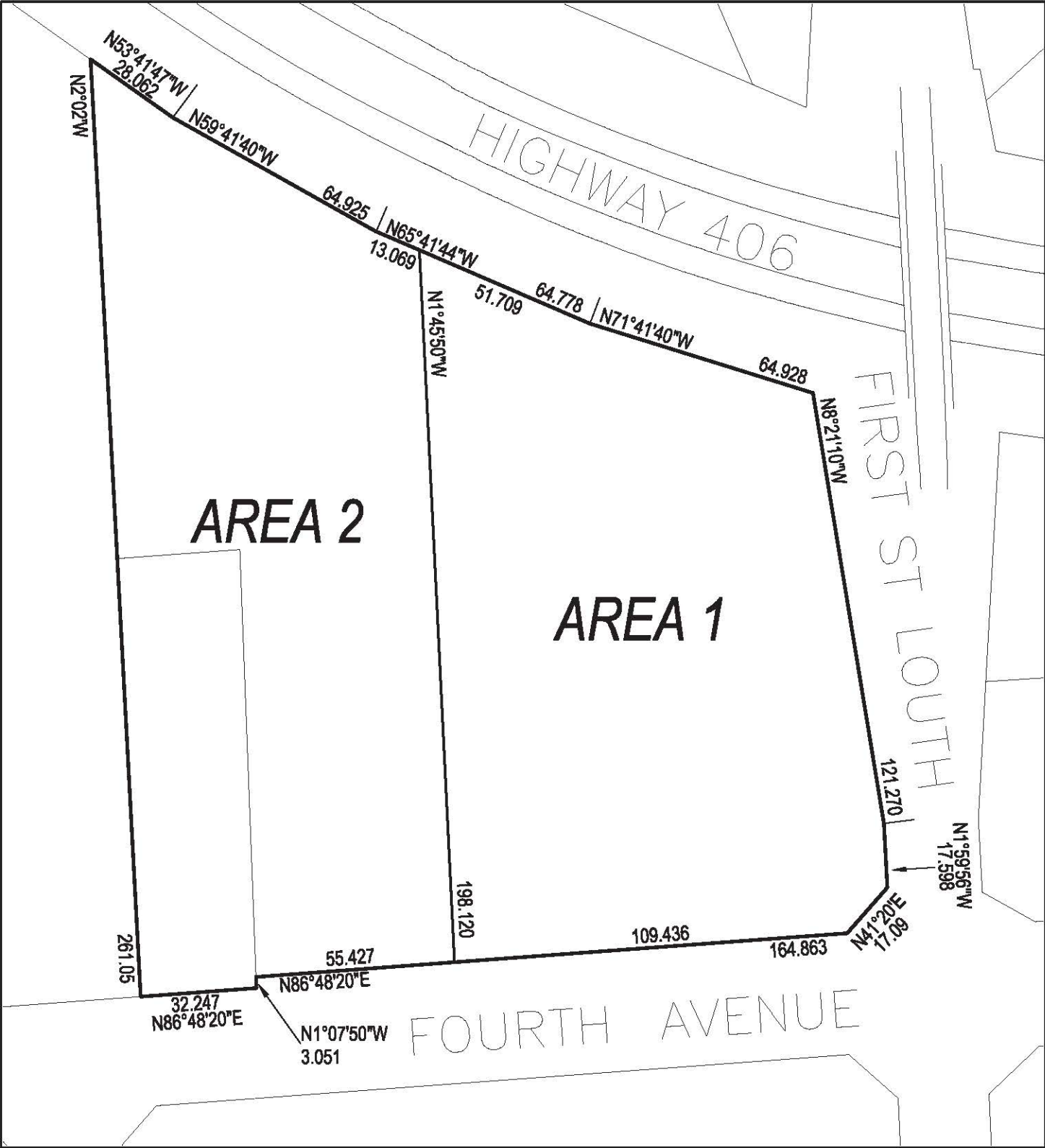
IN THE CITY OF ST.CATHARINES REGIONAL MUNICIPALITY OF NIAGARA



DISTANCES SHOWN ARE IN METRES
NOT TO SCALE



SPECIAL PROVISION	SCHEDULE A	SCHEDULE B	LOCATION	BY-LAW
34	12, 13, 18, 19	11	1215 & 1179 Fourth Avenue	



AN ILLUSTRATION SHOWING

Part Lot 1, Concession 3 Being Part Lots G, H & J on
Registered Plan TP-34

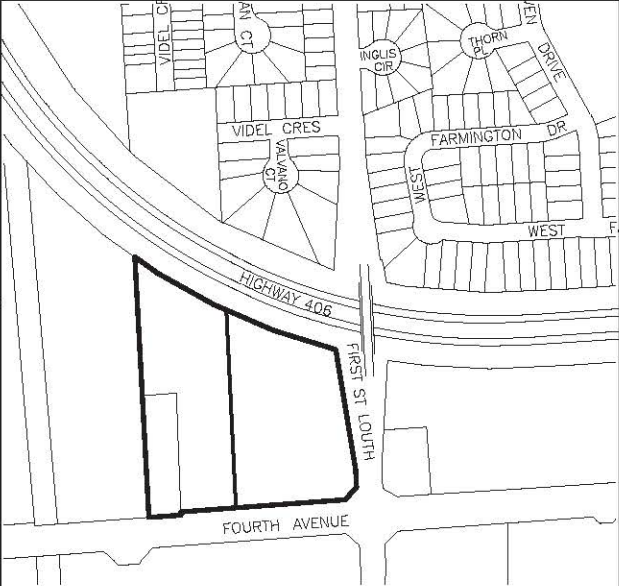
IN THE CITY OF ST.CATHARINES REGIONAL
MUNICIPALITY OF NIAGARA



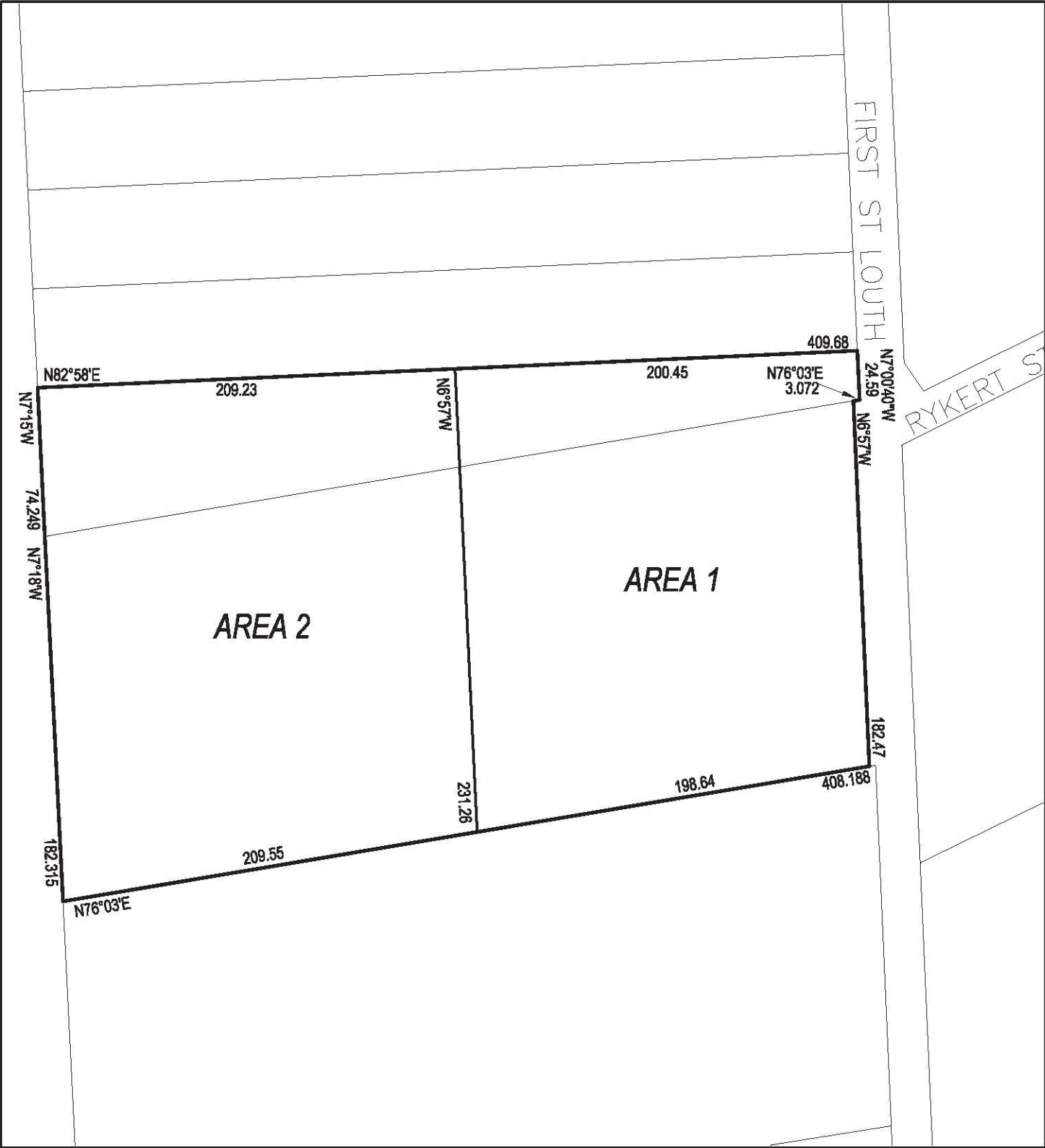
DISTANCES SHOWN ARE IN METRES
NOT TO SCALE

KEY PLAN

NOT TO SCALE




SPECIAL PROVISION	SCHEDULE A	SCHEDULE B	LOCATION	BY-LAW
37	18, 19	12	2403 & 2411 First Street Louth	



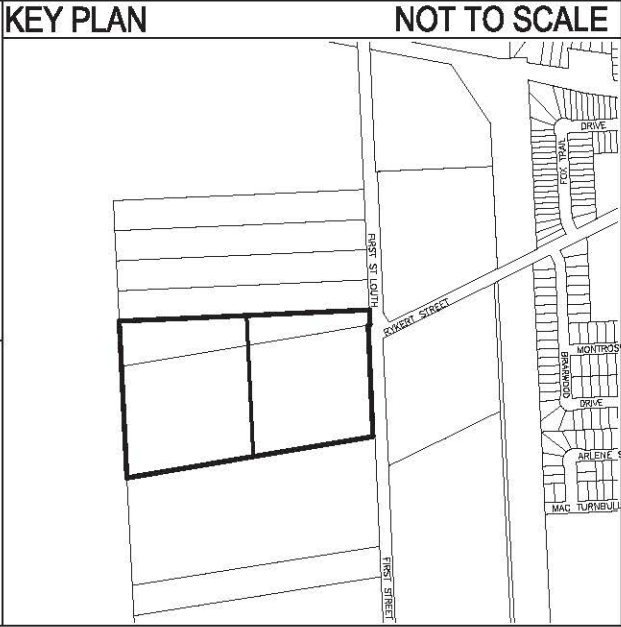
AN ILLUSTRATION SHOWING

Part Lot 1, Concession 6, Parts 1 & 2 on Reference Plan 30R-8398 Save and Except Part 1 on 30R-9406, Part 2 on Reference Plan 30R-9229 Save and Except Part 2 on 30R-9406

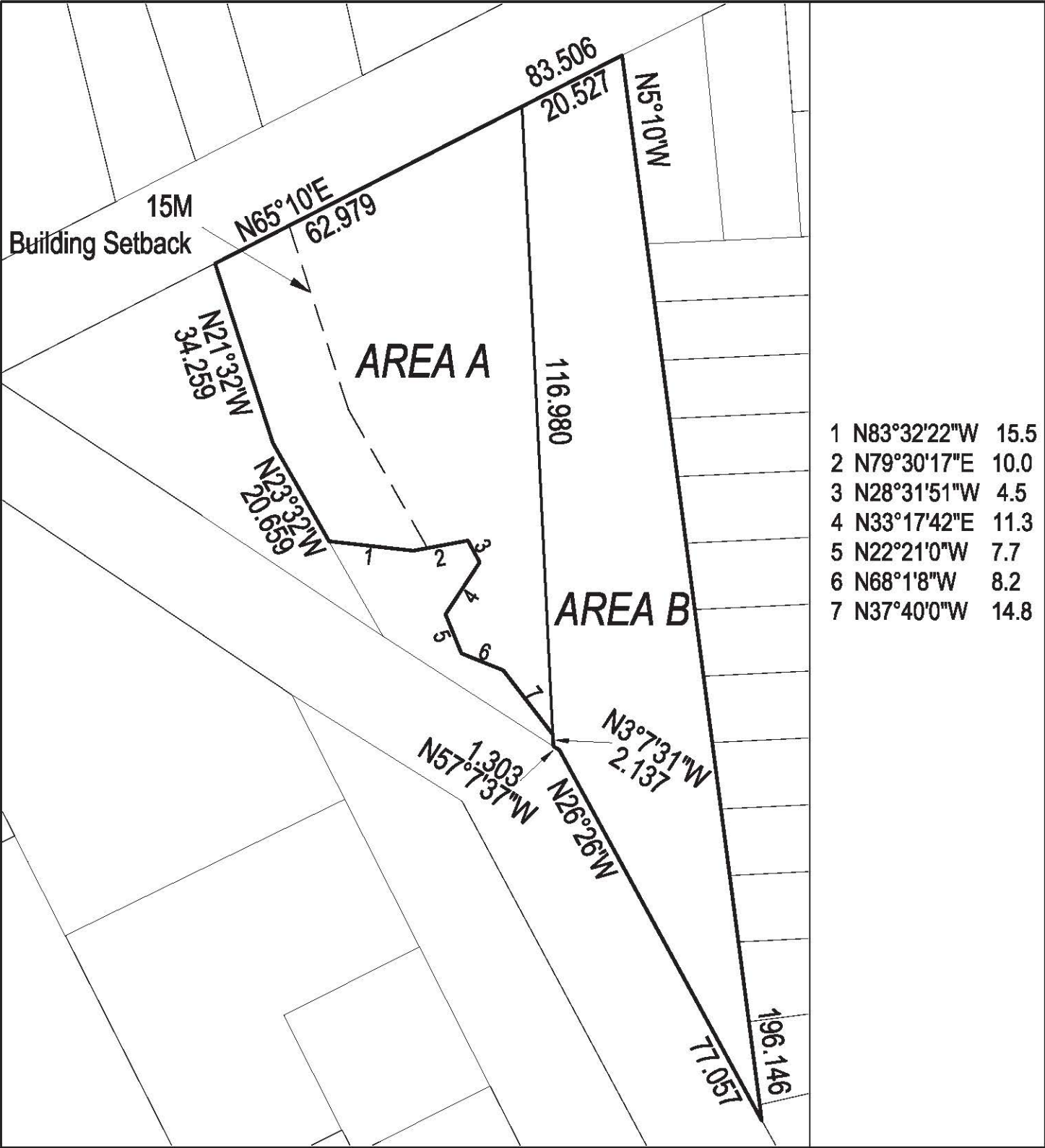
IN THE CITY OF ST.CATHARINES REGIONAL MUNICIPALITY OF NIAGARA



DISTANCES SHOWN ARE IN METRES
NOT TO SCALE



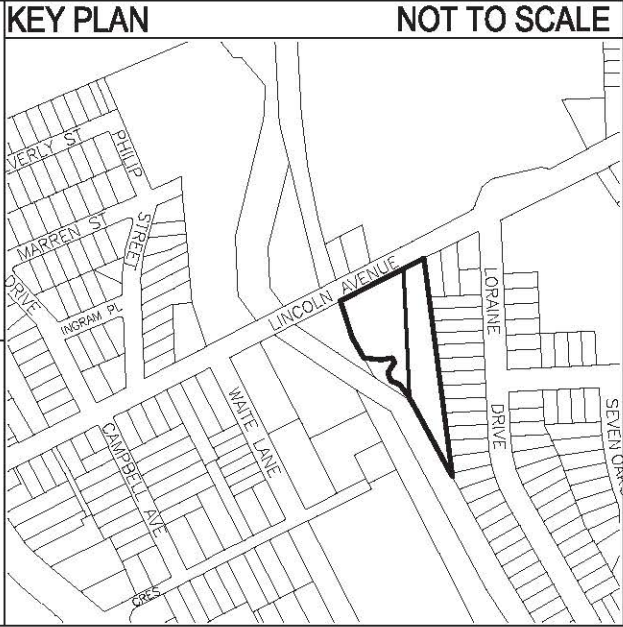
SPECIAL PROVISION	SCHEDULE A	SCHEDULE B	LOCATION	BY-LAW
43	21	13	38 Lincoln Avenue	



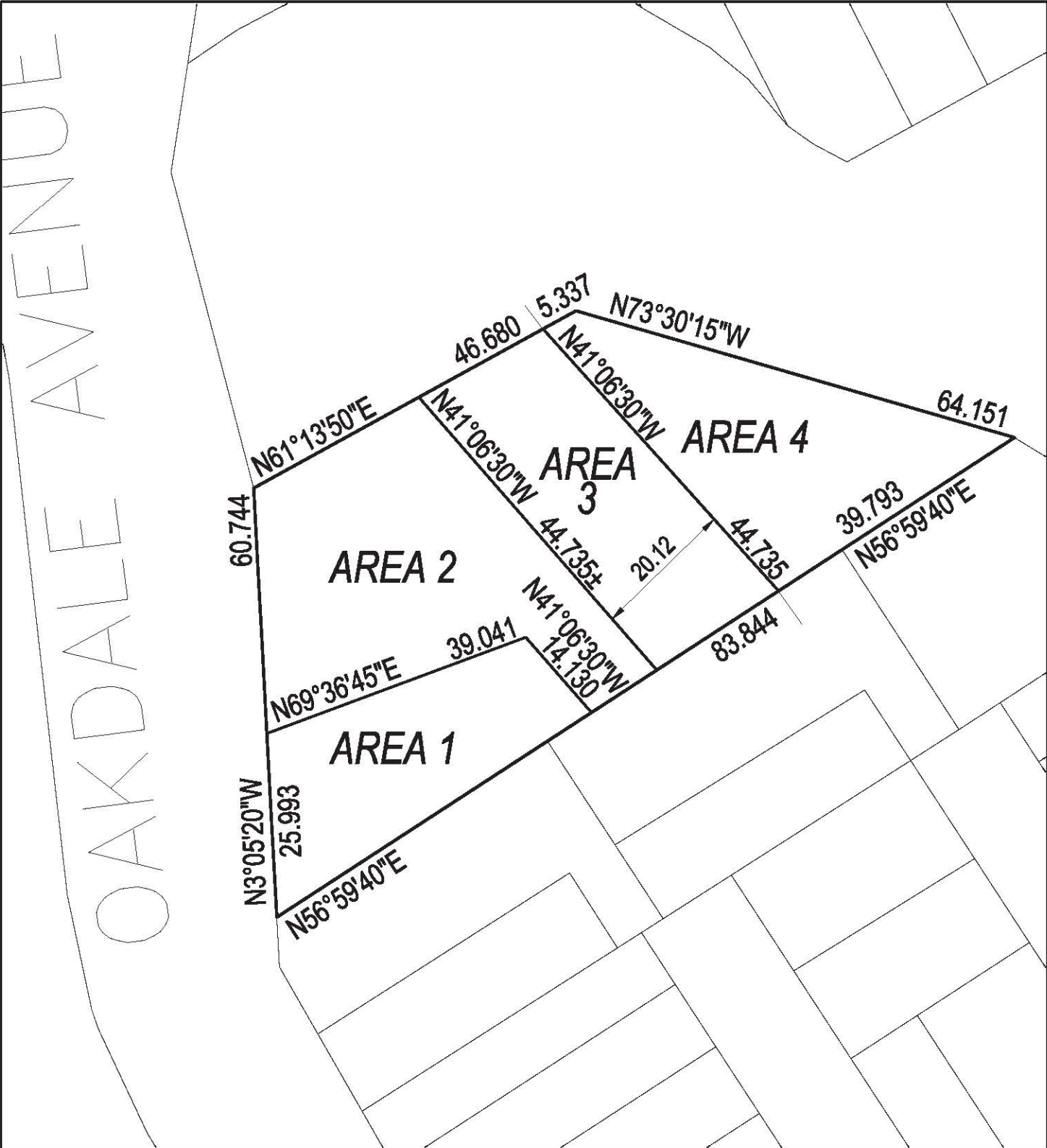
AN ILLUSTRATION SHOWING

Part of Lots 12 & 13, Concession 8

IN THE CITY OF ST.CATHARINES REGIONAL
MUNICIPALITY OF NIAGARA



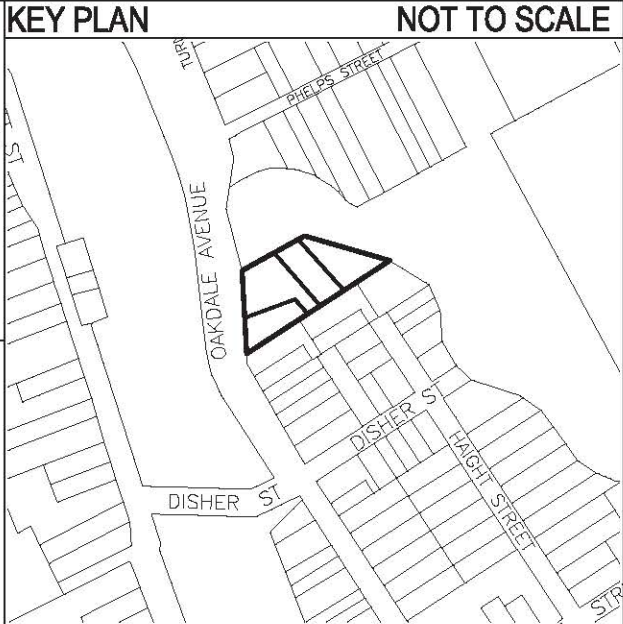
SPECIAL PROVISION	SCHEDULE A	SCHEDULE B	LOCATION	BY-LAW
44	21	14	176 Oakdale Avenue	



AN ILLUSTRATION SHOWING

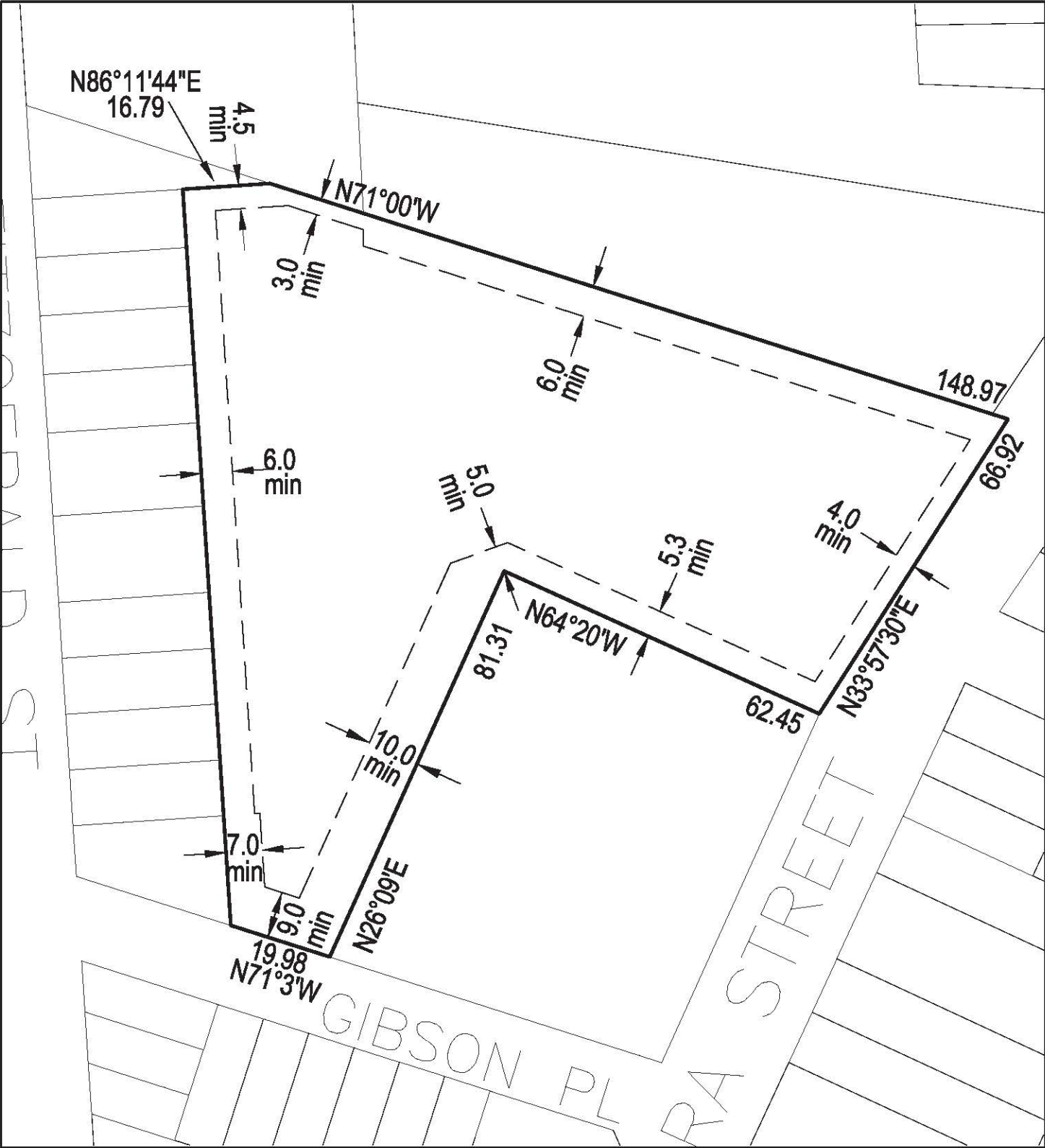
Lot 76, Corporation Plan 6; Parts 1 & 2 on 30R-6714; Part 4 on 30R-7234

IN THE CITY OF ST.CATHARINES REGIONAL MUNICIPALITY OF NIAGARA



DISTANCES SHOWN ARE IN METRES
NOT TO SCALE

SPECIAL PROVISION	SCHEDULE A	SCHEDULE B	LOCATION	BY-LAW
54	14	15	7 Gibson Place	



AN ILLUSTRATION SHOWING

Block 13, Registered Plan 30M-365

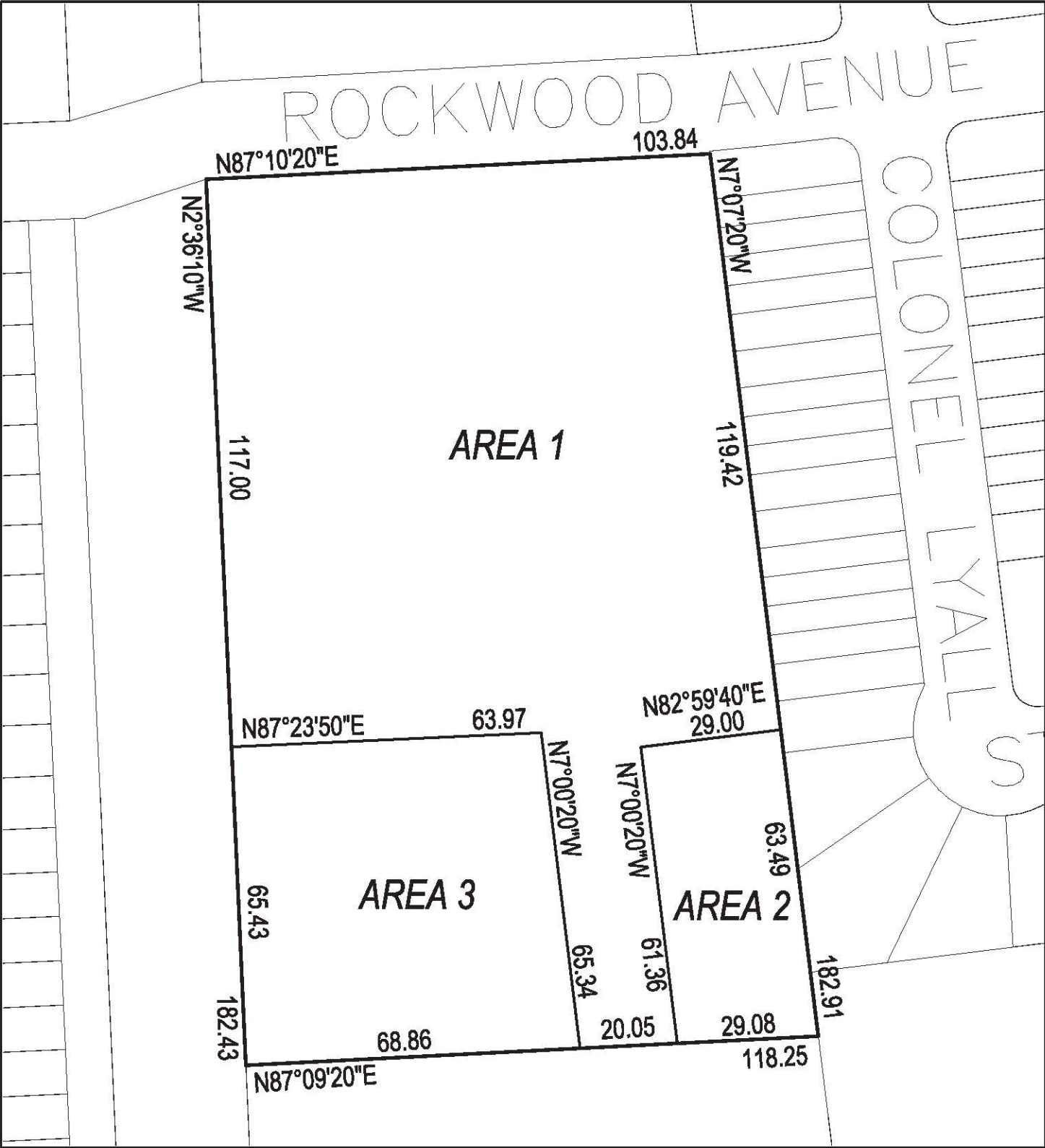
IN THE CITY OF ST.CATHARINES REGIONAL
MUNICIPALITY OF NIAGARA



DISTANCES SHOWN ARE IN METRES
NOT TO SCALE



SPECIAL PROVISION	SCHEDULE A	SCHEDULE B	LOCATION	BY-LAW
62	22	16	527A Glendale Avenue	



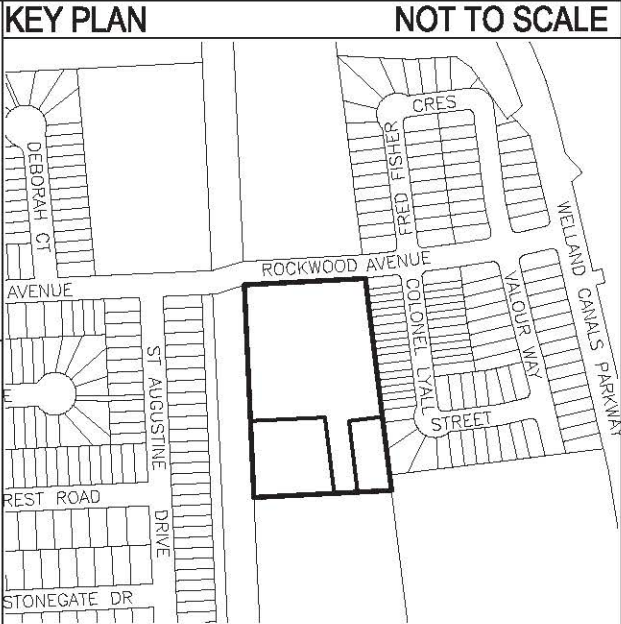
AN ILLUSTRATION SHOWING

Part of Lot 8, Concession 9; Designated as Parts 1, 2 & 3 on
Referece Plan 30R-13989

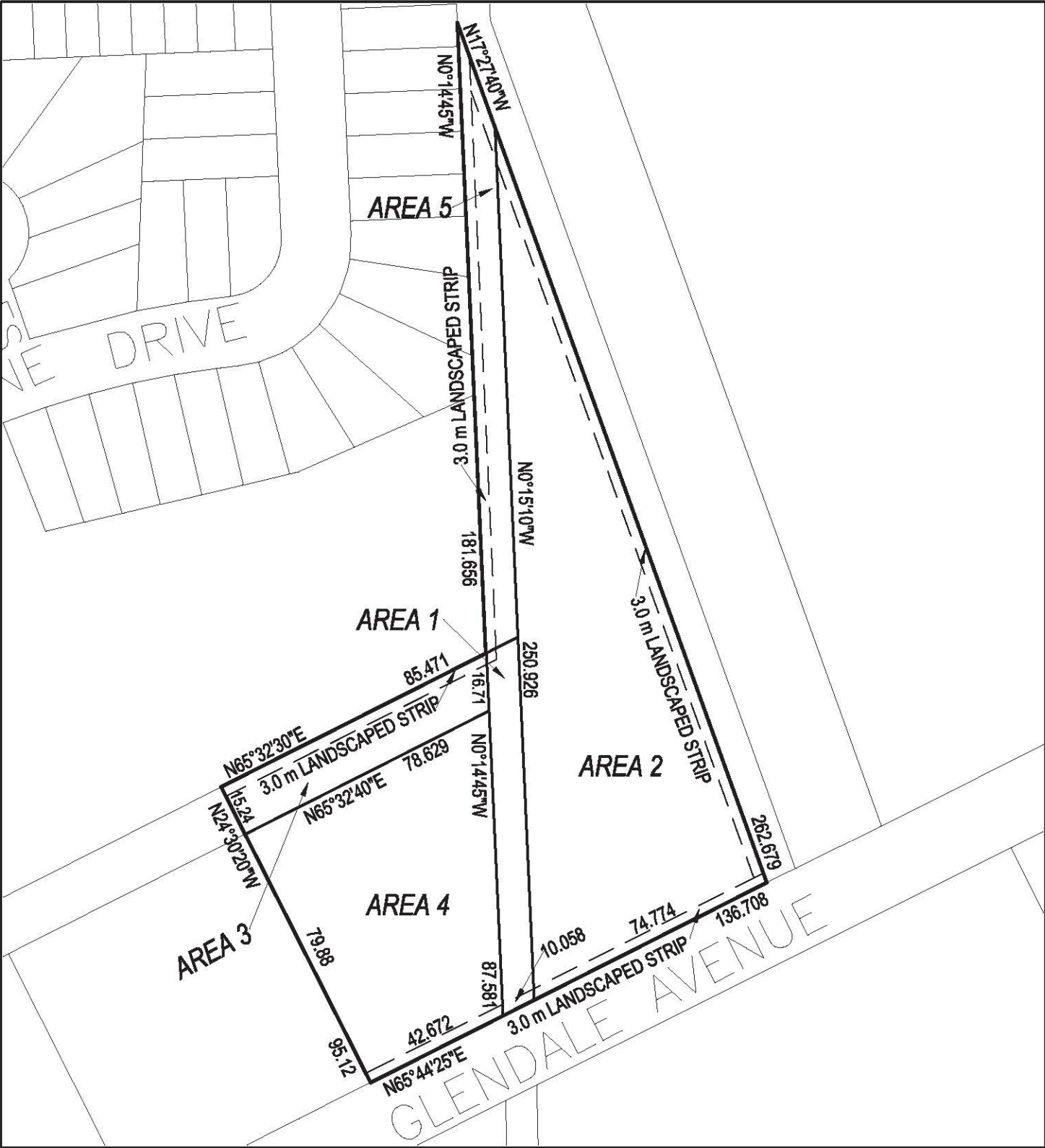
IN THE CITY OF ST.CATHARINES REGIONAL
MUNICIPALITY OF NIAGARA



DISTANCES SHOWN ARE IN METRES
NOT TO SCALE



SPECIAL PROVISION	SCHEDULE A	SCHEDULE B	LOCATION	BY-LAW
63	22	17	475 - 497 Glendale Avenue	



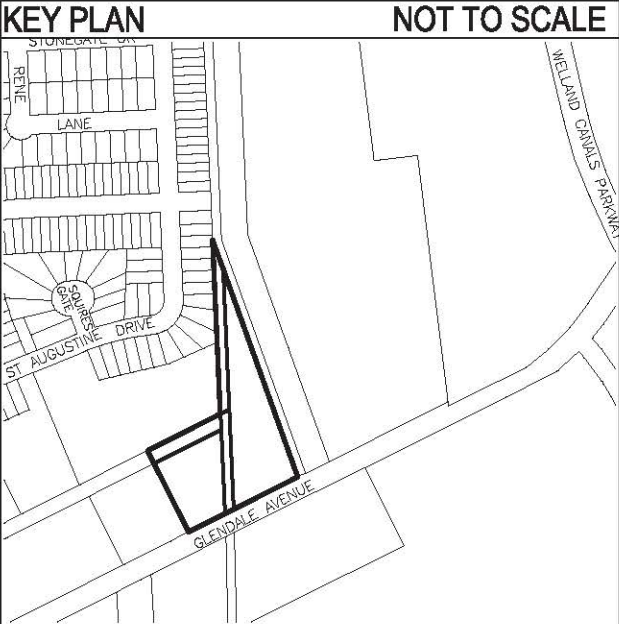
AN ILLUSTRATION SHOWING

Part of Road Allowance Between Lots 8 & 9, Concession 9;
Part Lots 8 & 9, Concession 9; Part of Block B, Registered Plan
30M-63; Designated as Parts 1 - 5 & 9 - 10 on 30R-13401

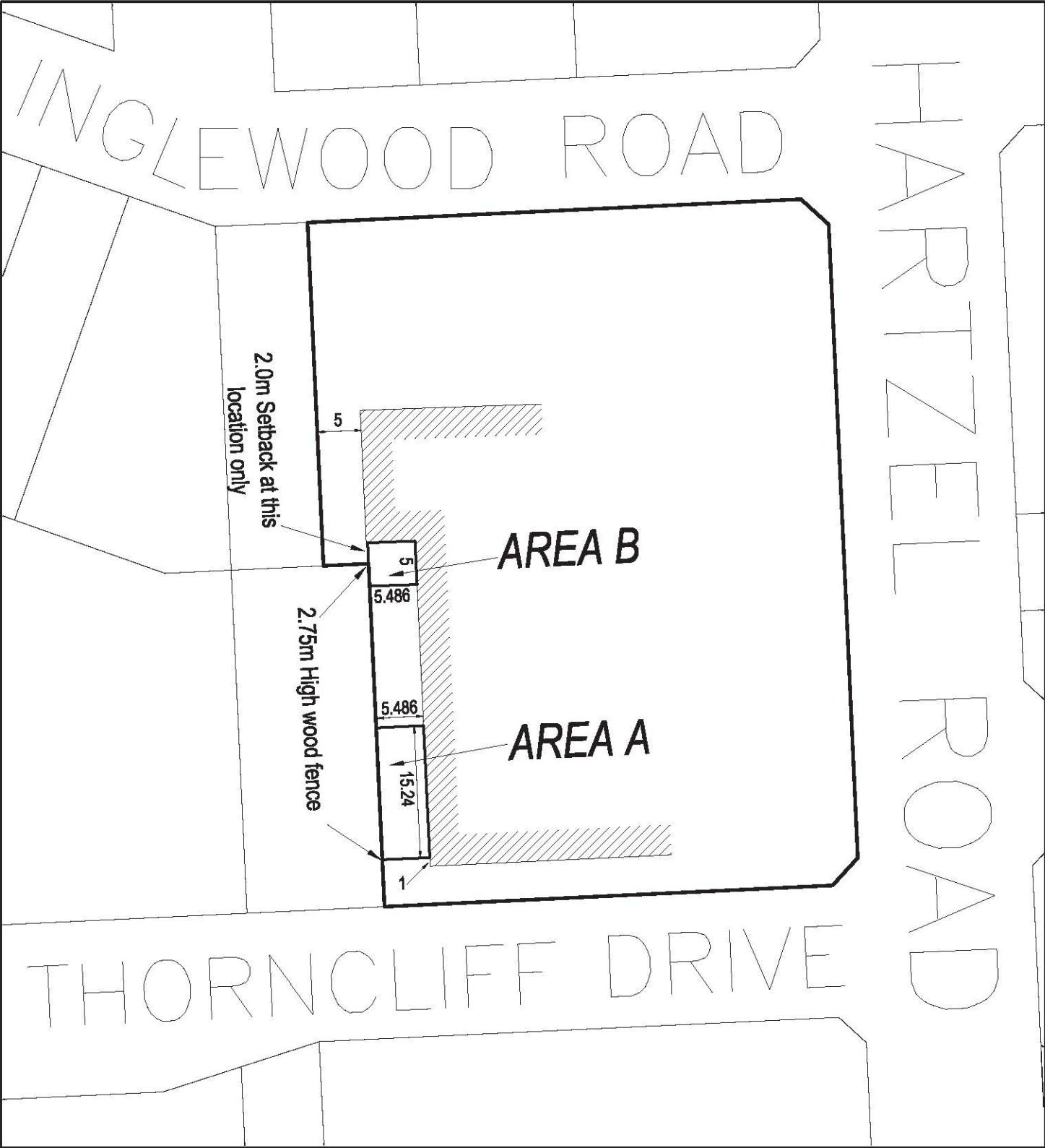
IN THE CITY OF ST.CATHARINES REGIONAL
MUNICIPALITY OF NIAGARA



DISTANCES SHOWN ARE IN METRES
NOT TO SCALE

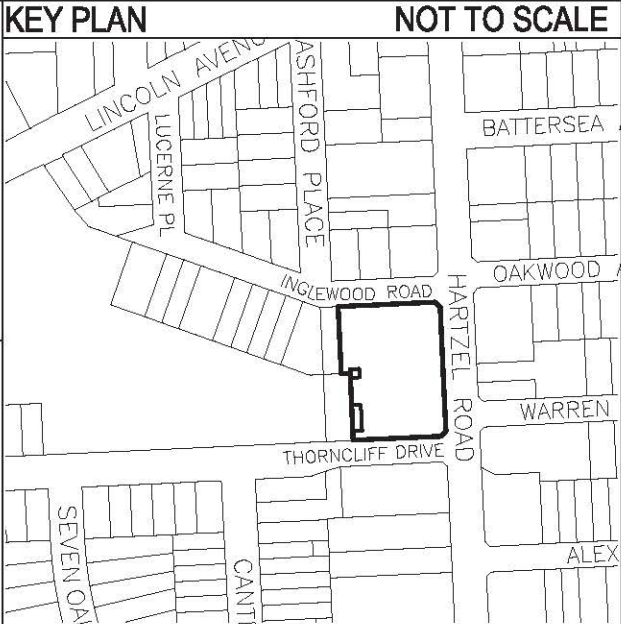


SPECIAL PROVISION	SCHEDULE A	SCHEDULE B	LOCATION	BY-LAW
64	21	18	79 Hartzel Road	

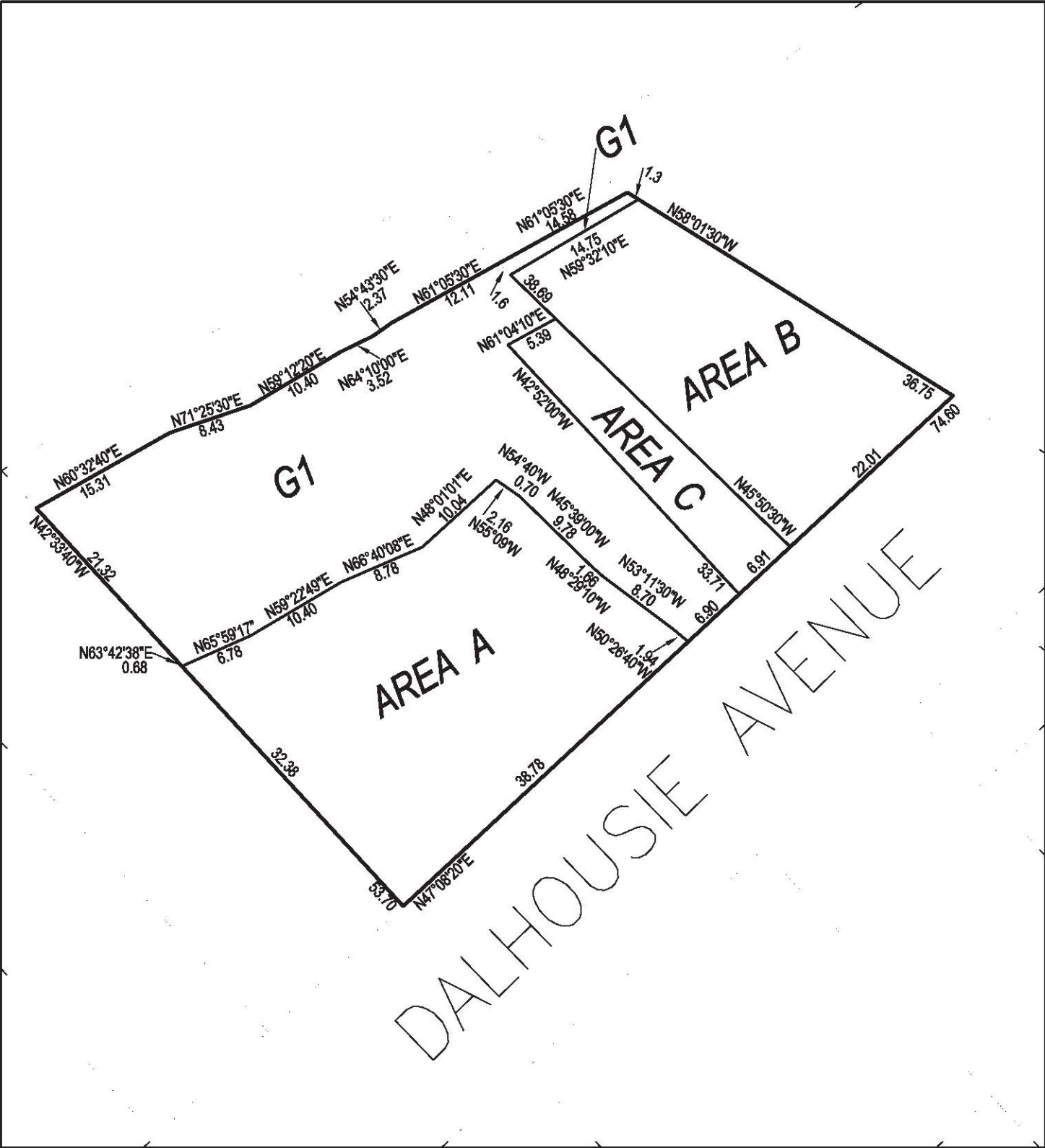


AN ILLUSTRATION SHOWING
Lots 322 and 323, Registered Plan TP-93; Part of Lots 321,
324 & 325, Registered Plan TP-93 designated as Part 2 on
30R-1490;
Lots 326 to 332, Registered Plan TP-93 save and except Part
56 HWY 744
**IN THE CITY OF ST.CATHARINES REGIONAL
MUNICIPALITY OF NIAGARA**

**DISTANCES SHOWN ARE IN METRES
NOT TO SCALE**



SPECIAL PROVISION	SCHEDULE A	SCHEDULE B	LOCATION	BY-LAW
74	7	19	6 &10 Dalhousie Avenue	

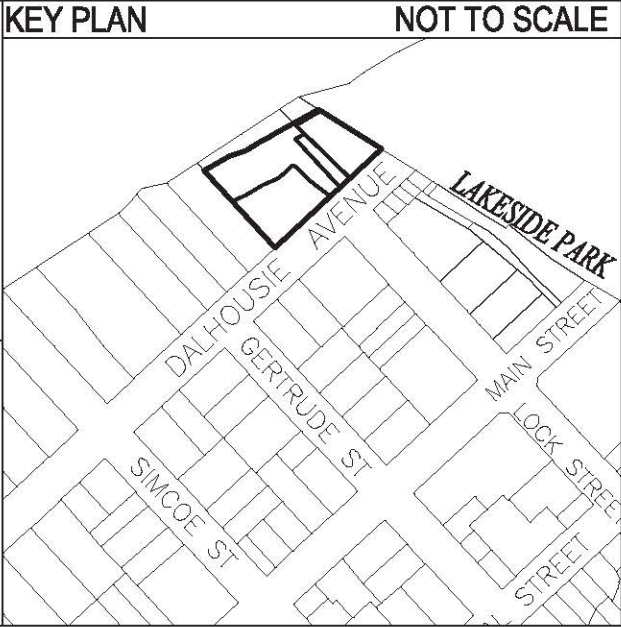


AN ILLUSTRATION SHOWING

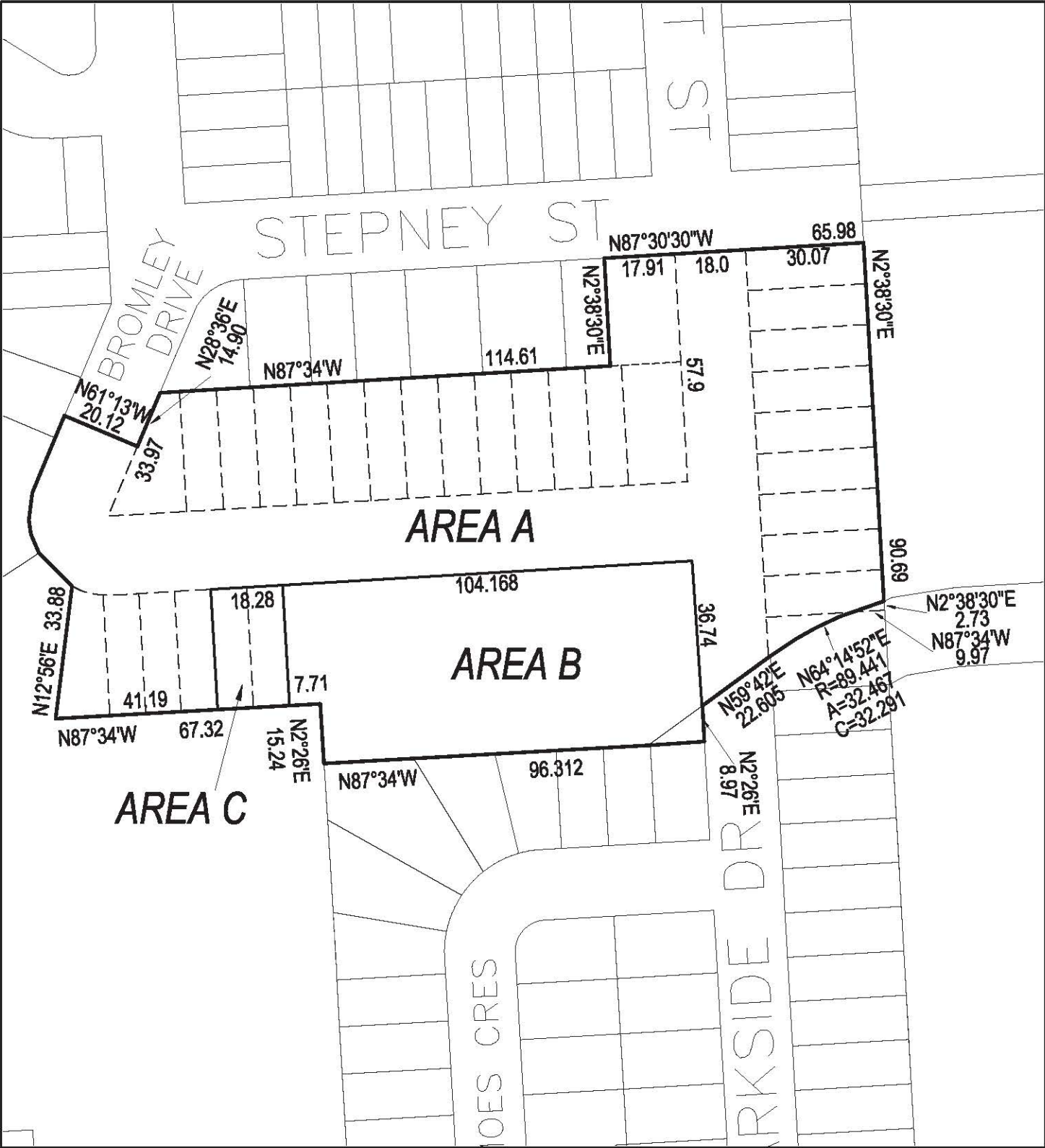
Lot 35 & Part Lot 36, Registered Plan TP-7

IN THE CITY OF ST.CATHARINES REGIONAL MUNICIPALITY OF NIAGARA

DISTANCES SHOWN ARE IN METRES
NOT TO SCALE




SPECIAL PROVISION	SCHEDULE A	SCHEDULE B	LOCATION	BY-LAW
75	4	20	39 Bromley Drive	



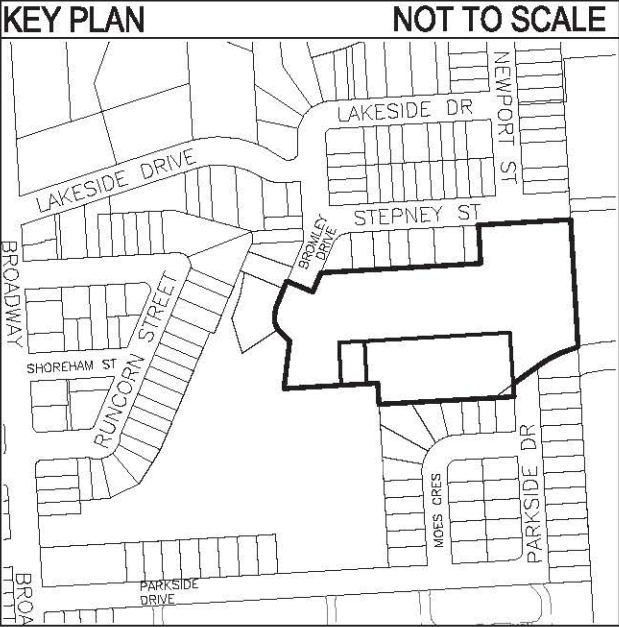
AN ILLUSTRATION SHOWING

Part Lot 3, Registered Plan TP 112

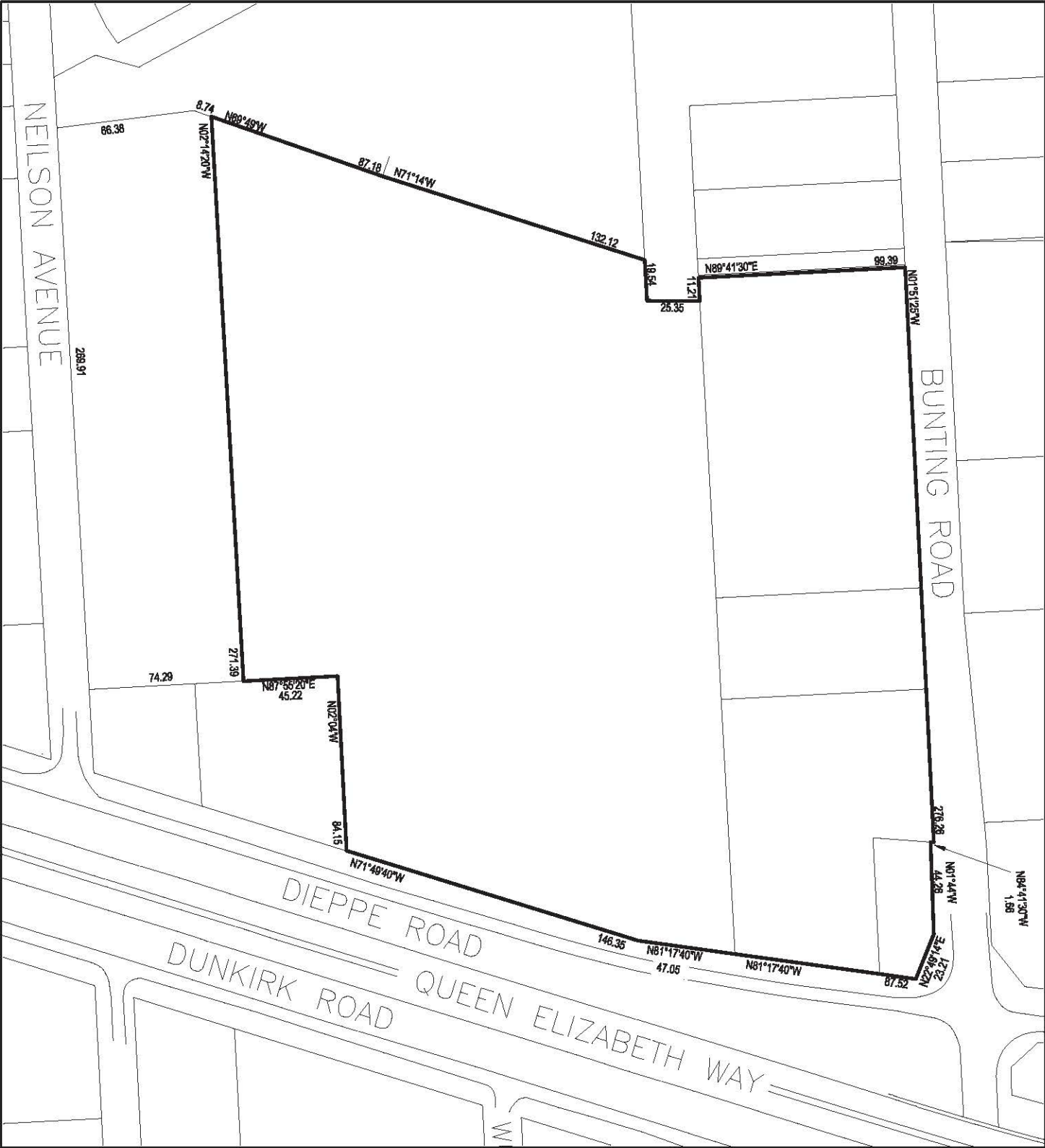
IN THE CITY OF ST.CATHARINES REGIONAL
MUNICIPALITY OF NIAGARA



DISTANCES SHOWN ARE IN METRES
NOT TO SCALE



SPECIAL PROVISION	SCHEDULE A	SCHEDULE B	LOCATION	BY-LAW
78	15, 16	22	189 & 193 Dieppe Road 185, 189, 191 Bunting Road	



AN ILLUSTRATION SHOWING

Part Lot 11, Concession 6

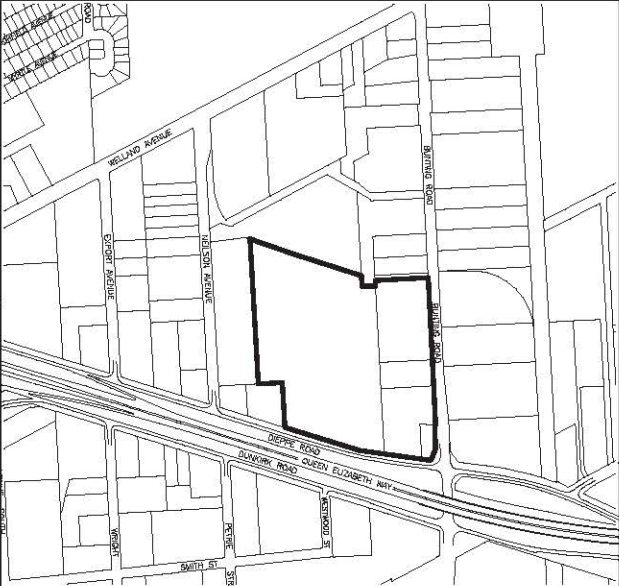
IN THE CITY OF ST.CATHARINES REGIONAL
MUNICIPALITY OF NIAGARA



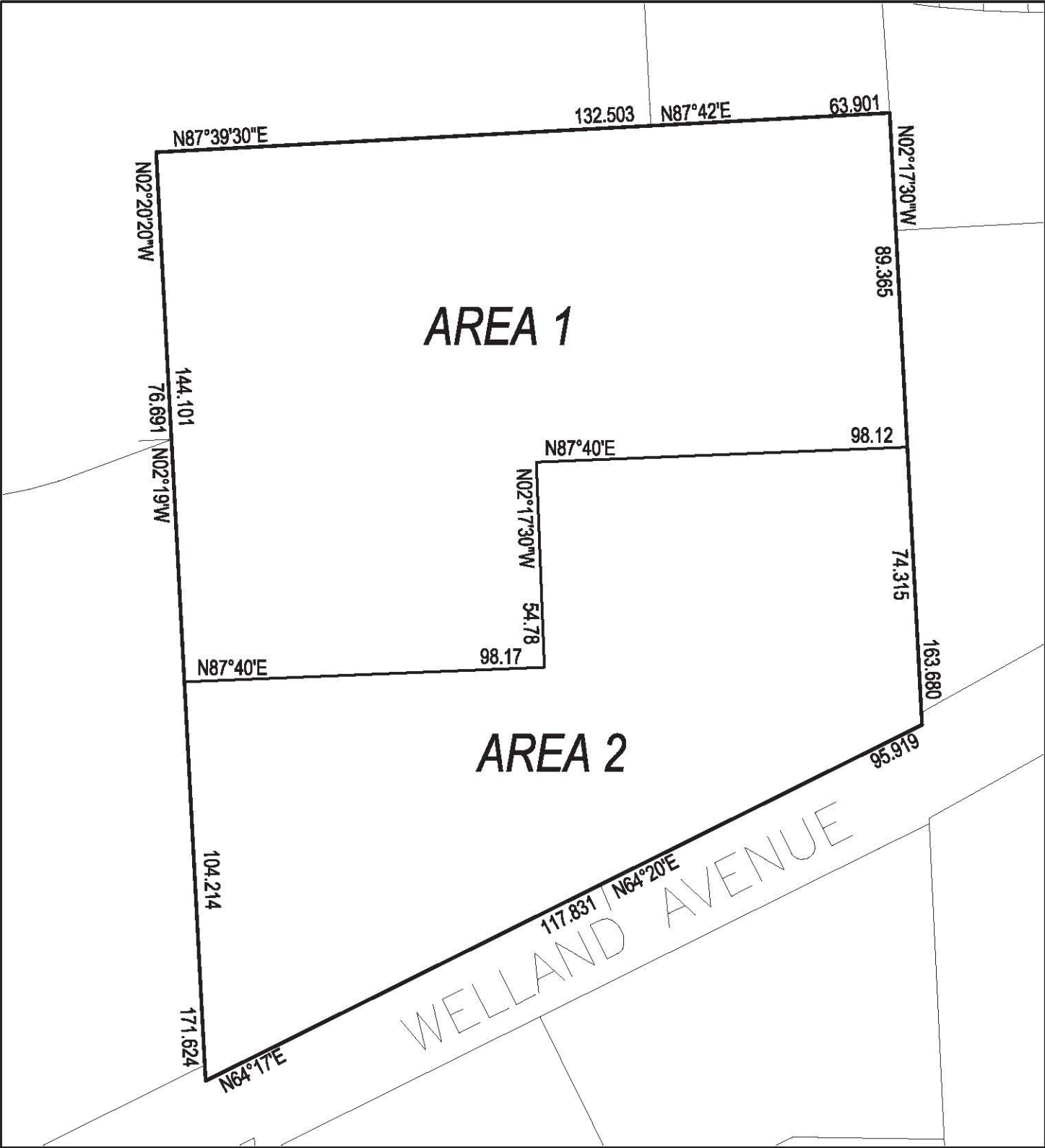
DISTANCES SHOWN ARE IN METRES
NOT TO SCALE

KEY PLAN

NOT TO SCALE



SPECIAL PROVISION	SCHEDULE A	SCHEDULE B	LOCATION	BY-LAW
81	10, 16	23	583 Welland Avenue	



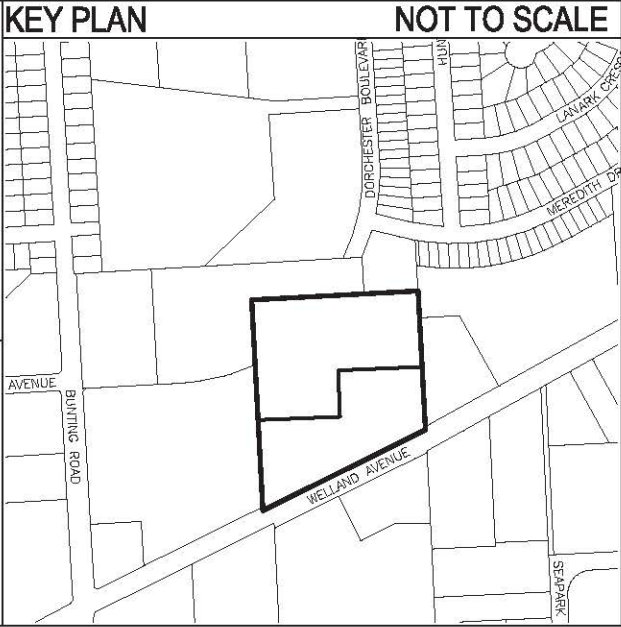
AN ILLUSTRATION SHOWING

Part Lot 180, Corporation Plan 5 designated as Part 1 on 30R-12126

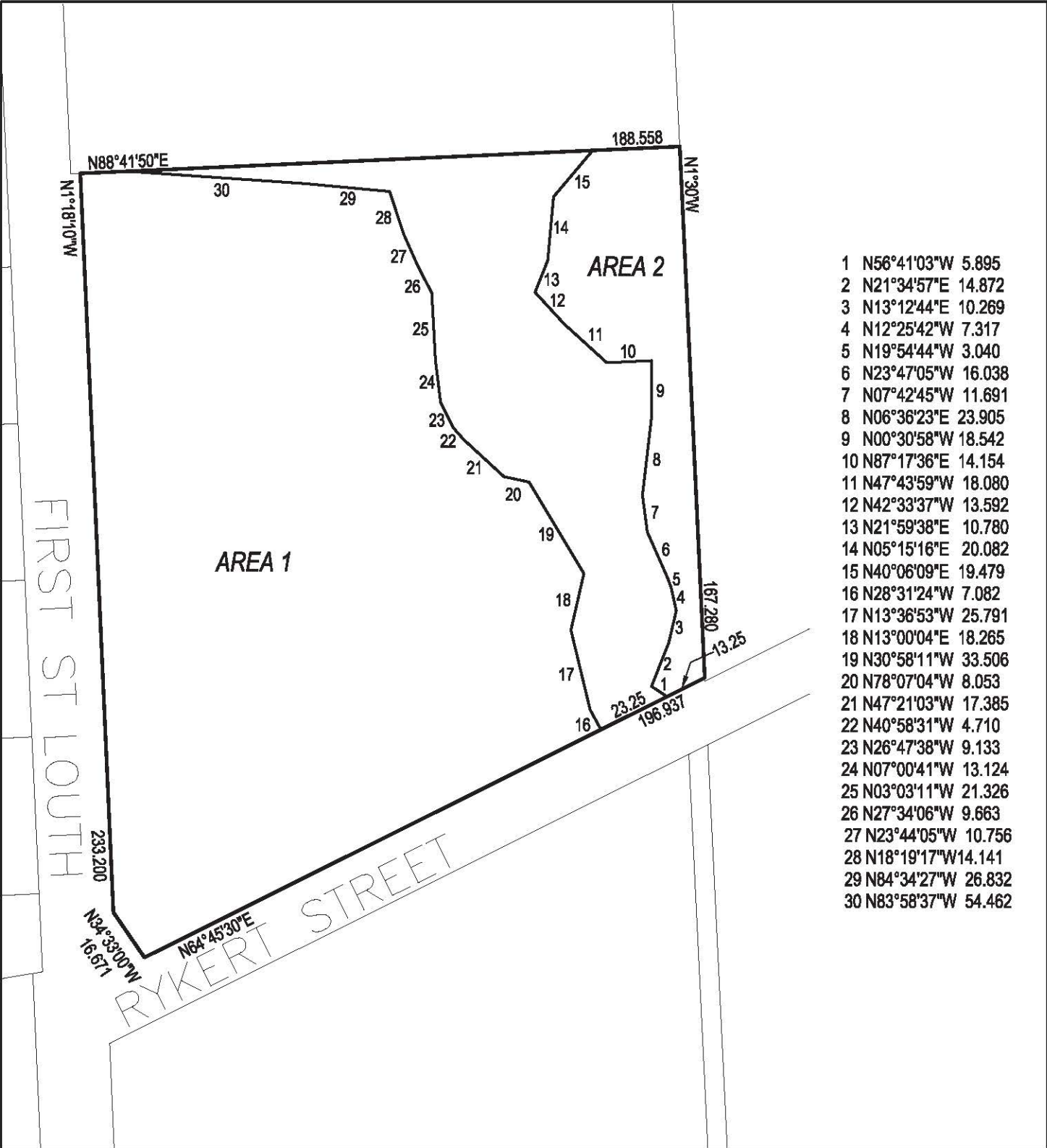
IN THE CITY OF ST.CATHARINES REGIONAL MUNICIPALITY OF NIAGARA



DISTANCES SHOWN ARE IN METRES
NOT TO SCALE



SPECIAL PROVISION	SCHEDULE A	SCHEDULE B	LOCATION	BY-LAW
85	19	24	2360 First Street Louth	

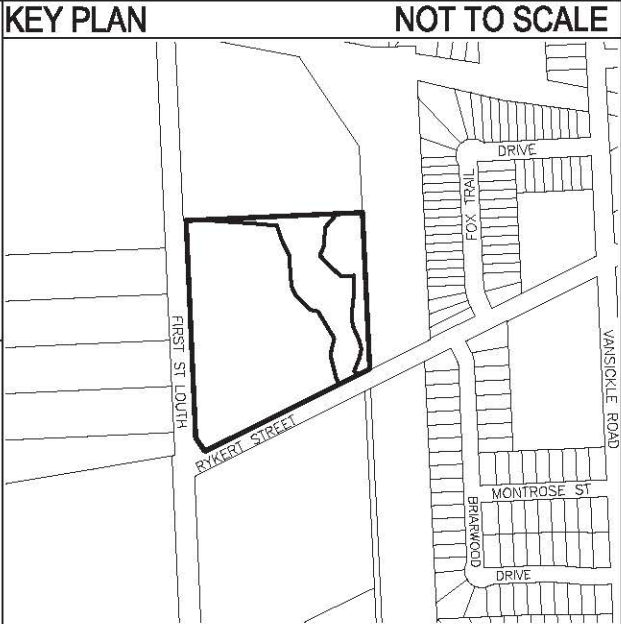


AN ILLUSTRATION SHOWING

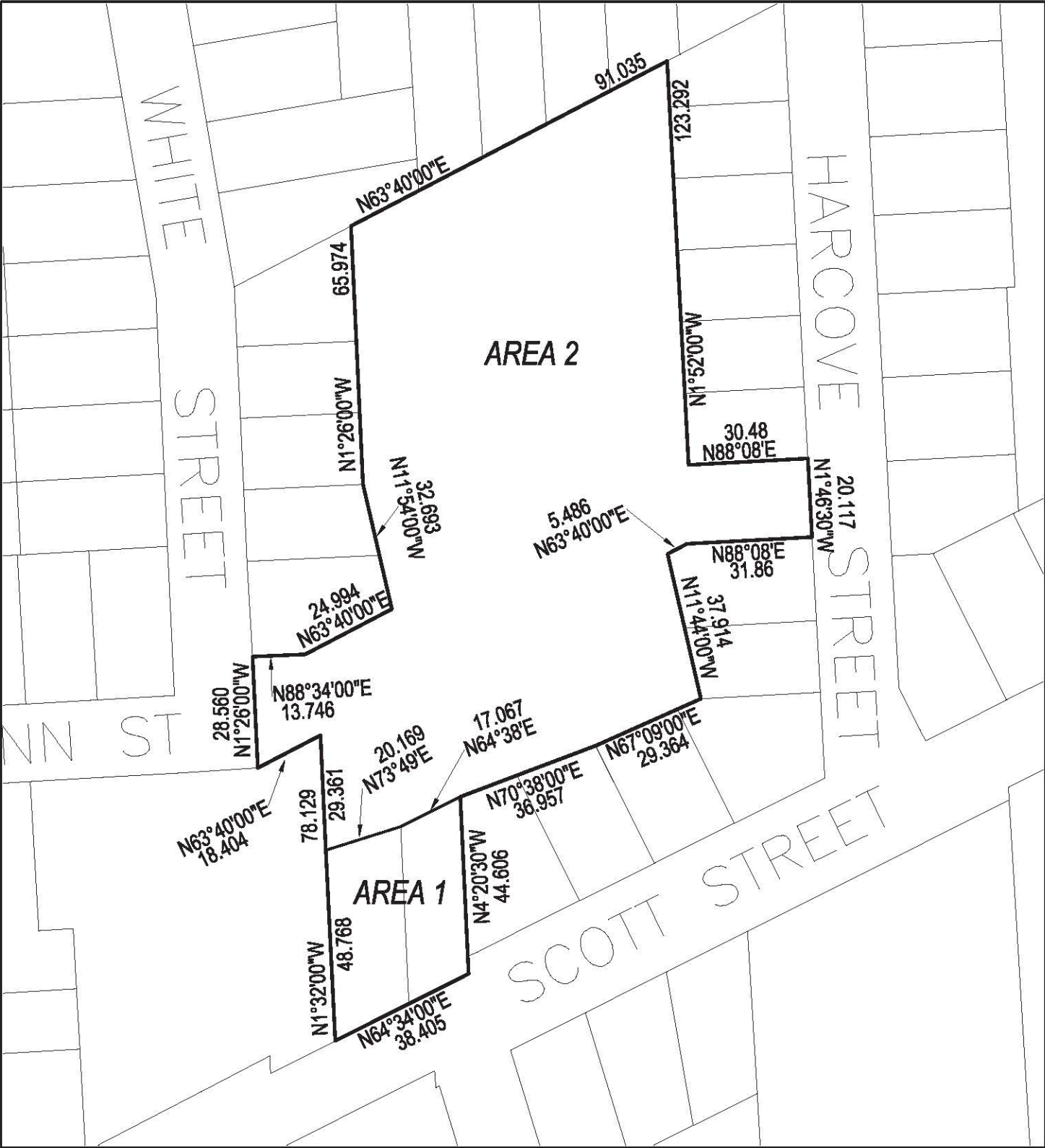
Part 1 on Registered Plan 30R-2578; save and except Part 1 on Registered Plan 30R-2595, save and except Part 1 on Registered Plan 30R-10713

IN THE CITY OF ST.CATHARINES REGIONAL MUNICIPALITY OF NIAGARA

DISTANCES SHOWN ARE IN METRES
NOT TO SCALE



SPECIAL PROVISION	SCHEDULE A	SCHEDULE B	LOCATION	BY-LAW
87	8	25	2 White Street; 307 & 309 Scott Street	



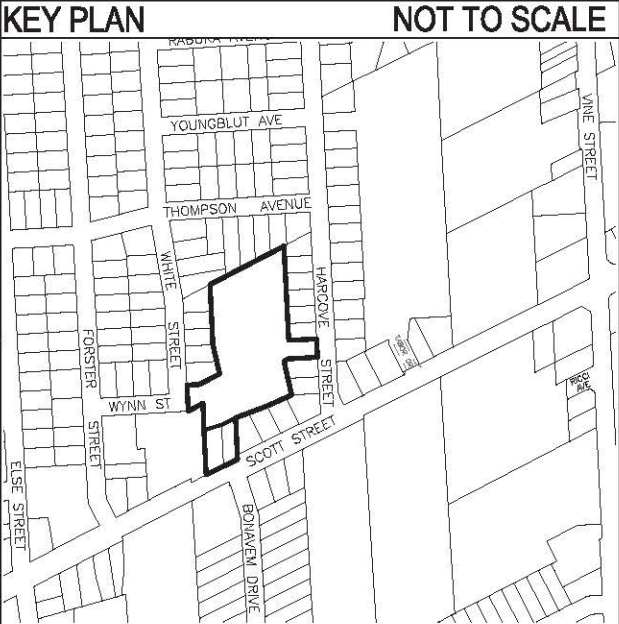
AN ILLUSTRATION SHOWING

Part Lots 15 &16, Concession 3, Part Lots 1 & 2
Registered Plan TP-42

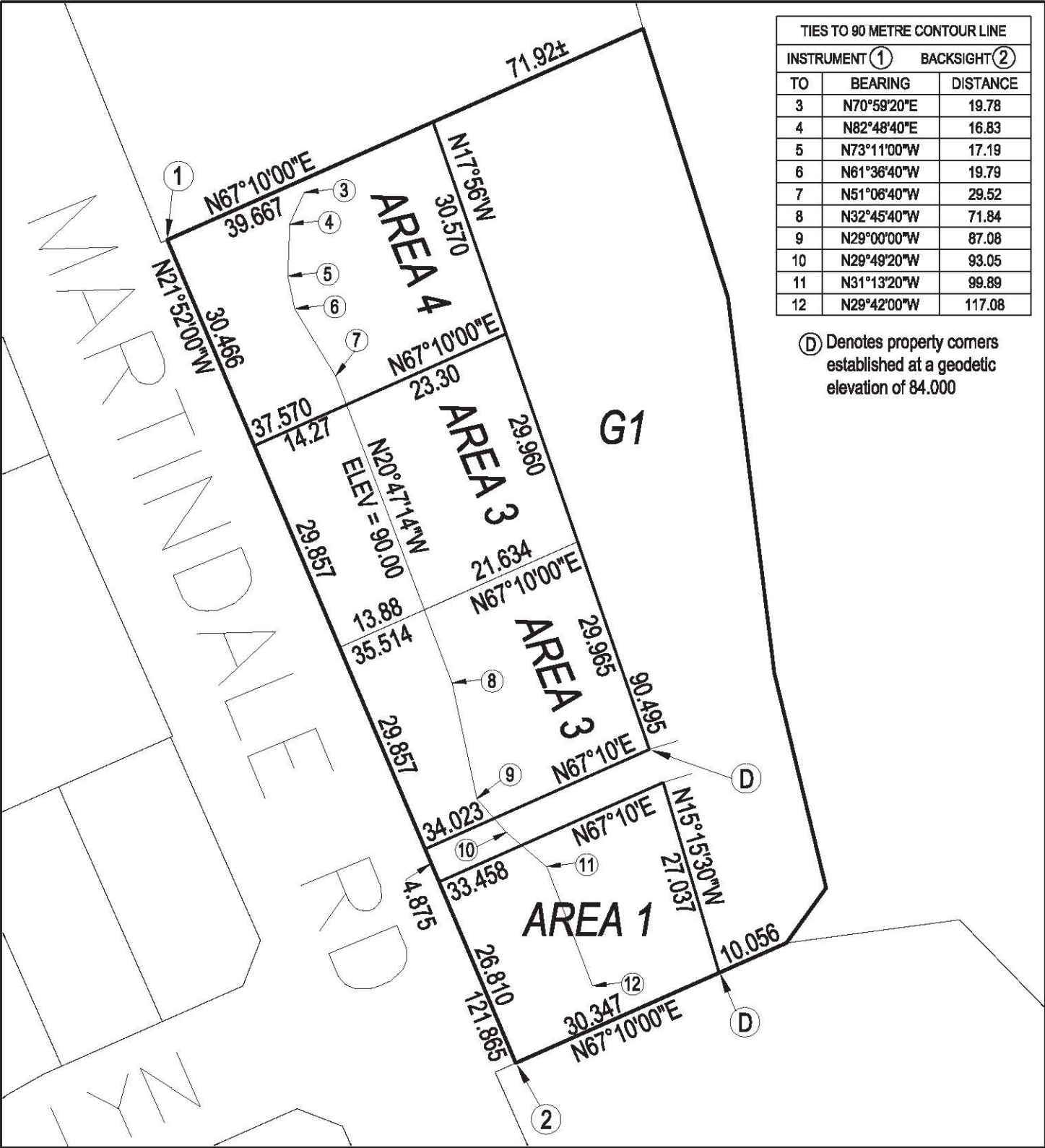
IN THE CITY OF ST.CATHARINES REGIONAL
MUNICIPALITY OF NIAGARA



DISTANCES SHOWN ARE IN METRES
NOT TO SCALE



SPECIAL PROVISION	SCHEDULE A	SCHEDULE B	LOCATION	BY-LAW
106	6, 12	27	358A to 358E Martindale Road	

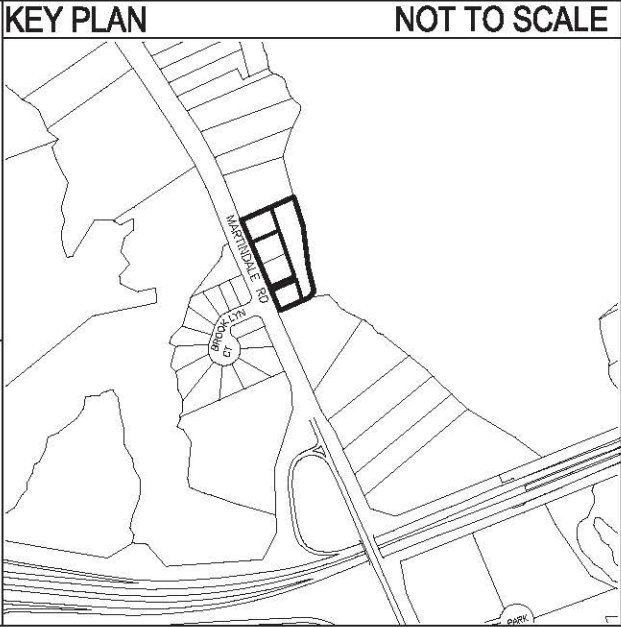


AN ILLUSTRATION SHOWING

Part Lot 1, Concession 1 Louth, Part Lot 23, Concession 3 Grantham, Part Road Allowance Between Township of Louth and Township of Grantham; Designated as Parts 1 to 4 & Part 6 on 30R-10450

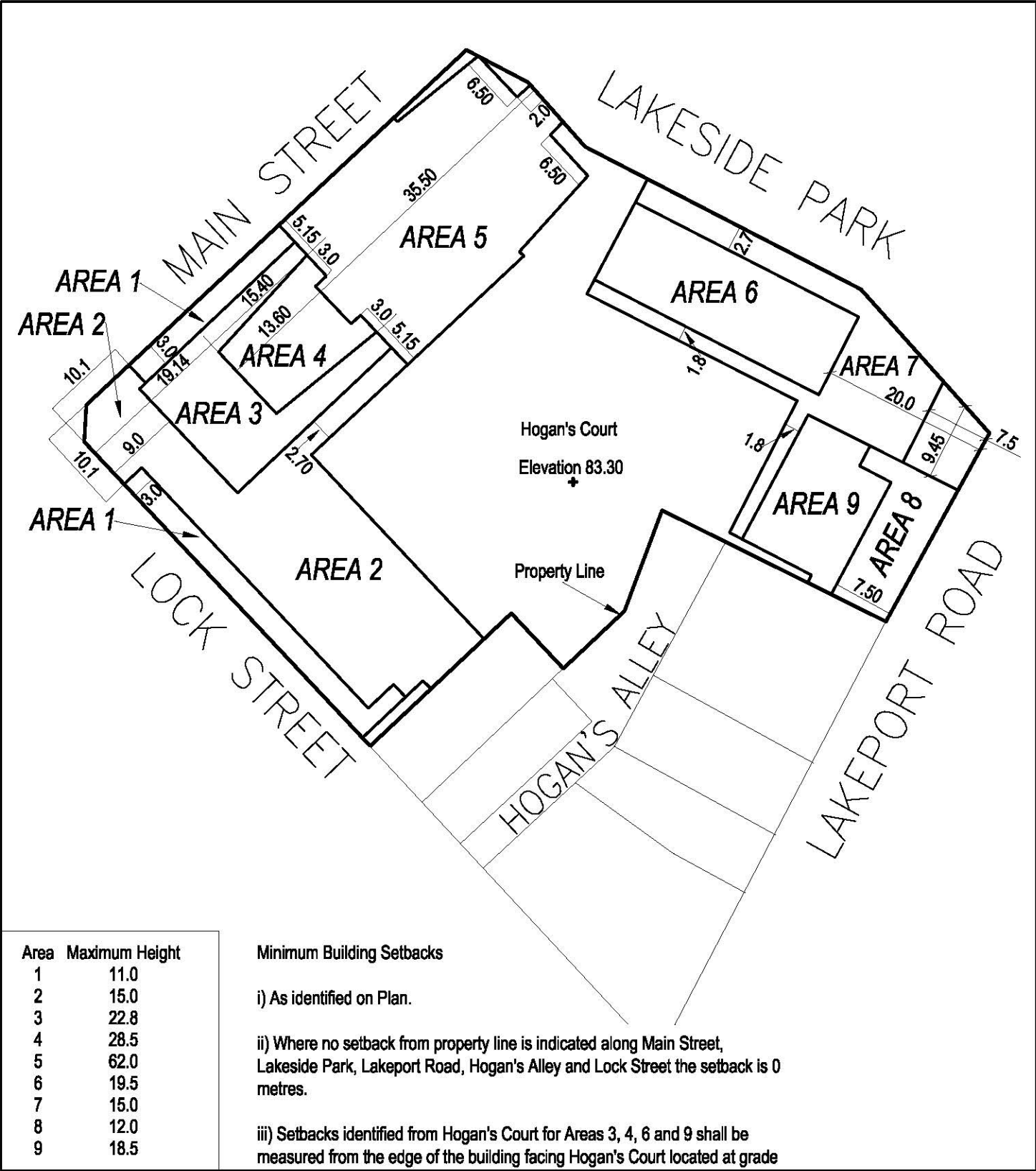
IN THE CITY OF ST.CATHARINES REGIONAL MUNICIPALITY OF NIAGARA

DISTANCES SHOWN ARE IN METRES
NOT TO SCALE



15.3 Schedule C – Lot Specific Maps for Holding Provisions

HOLDING	SCHEDULE A	SCHEDULE C	LOCATION	BY-LAW
H5	7	1a	16 Lock Street; 12 Lakeport Road	

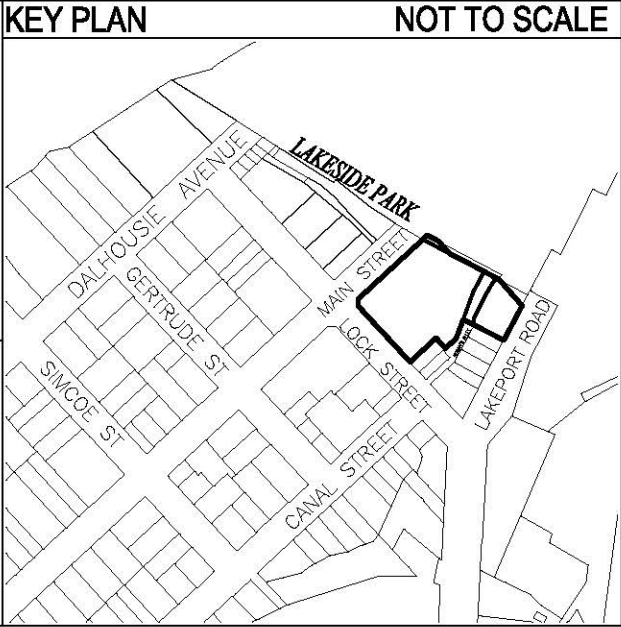


AN ILLUSTRATION SHOWING

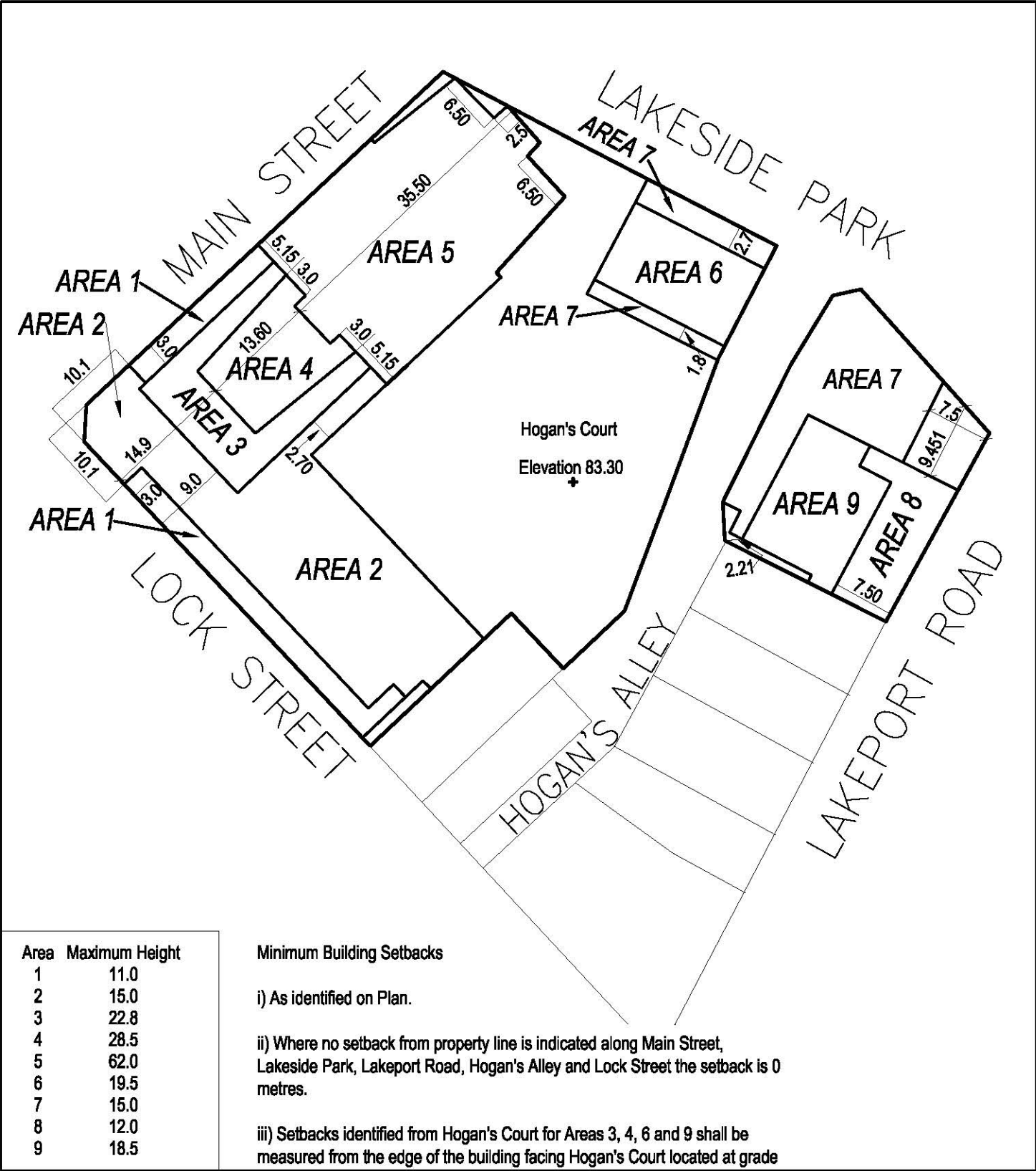
Lots 3, 4, 5, 6, 7, 14, 16 & Part of Lot 2 & Part of the unnamed public alley Registrar's Compiled Plan 696

IN THE CITY OF ST.CATHARINES REGIONAL MUNICIPALITY OF NIAGARA

DISTANCES SHOWN ARE IN METRES
NOT TO SCALE



HOLDING	SCHEDULE A	SCHEDULE C	LOCATION	BY-LAW
H5	7	1b	16 Lock Street; 12 Lakeport Road	

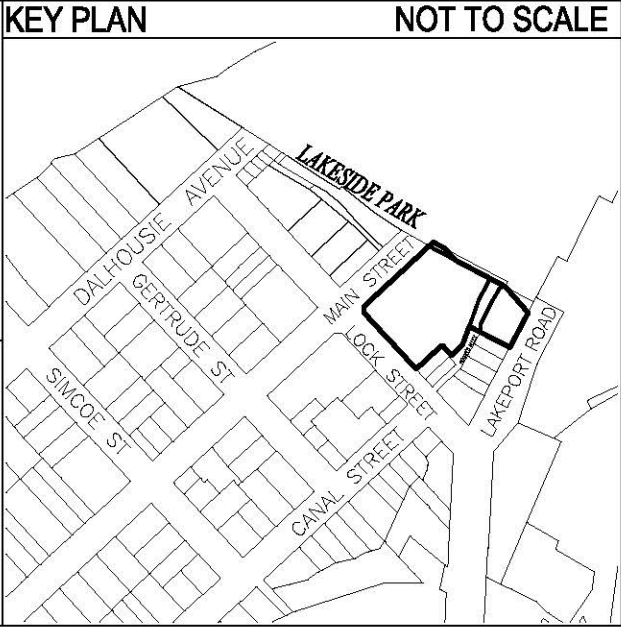


AN ILLUSTRATION SHOWING

Lots 3, 4, 5, 6, 7, 14, 16 & Part of Lot 2 & Part of the unnamed public alley Registrar's Compiled Plan 696

IN THE CITY OF ST.CATHARINES REGIONAL MUNICIPALITY OF NIAGARA

DISTANCES SHOWN ARE IN METRES
NOT TO SCALE



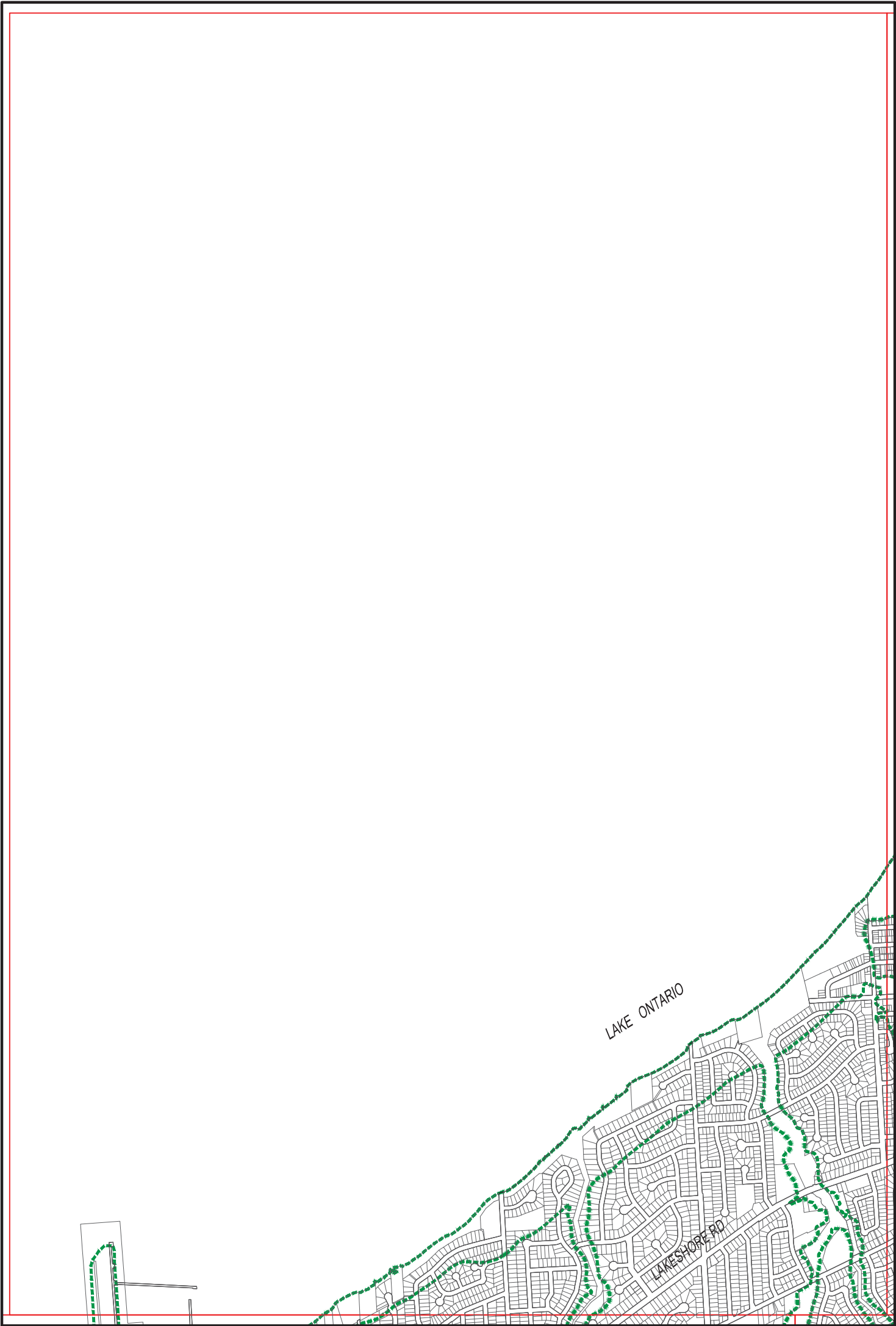
15.4 Schedule D – Natural Area Extent Line




Section 15.4
Schedule D - Natural Area Extent Line Maps
Index

City of St.
Catharines
Zoning
By-Law





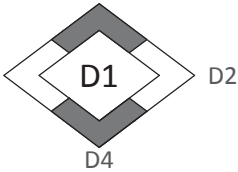
Schedule D - Natural Area Extent Line

 Natural Area Extent Line (Represents the extent and limit of currently identified natural heritage features and natural hazard lands by upper tier government and agencies)

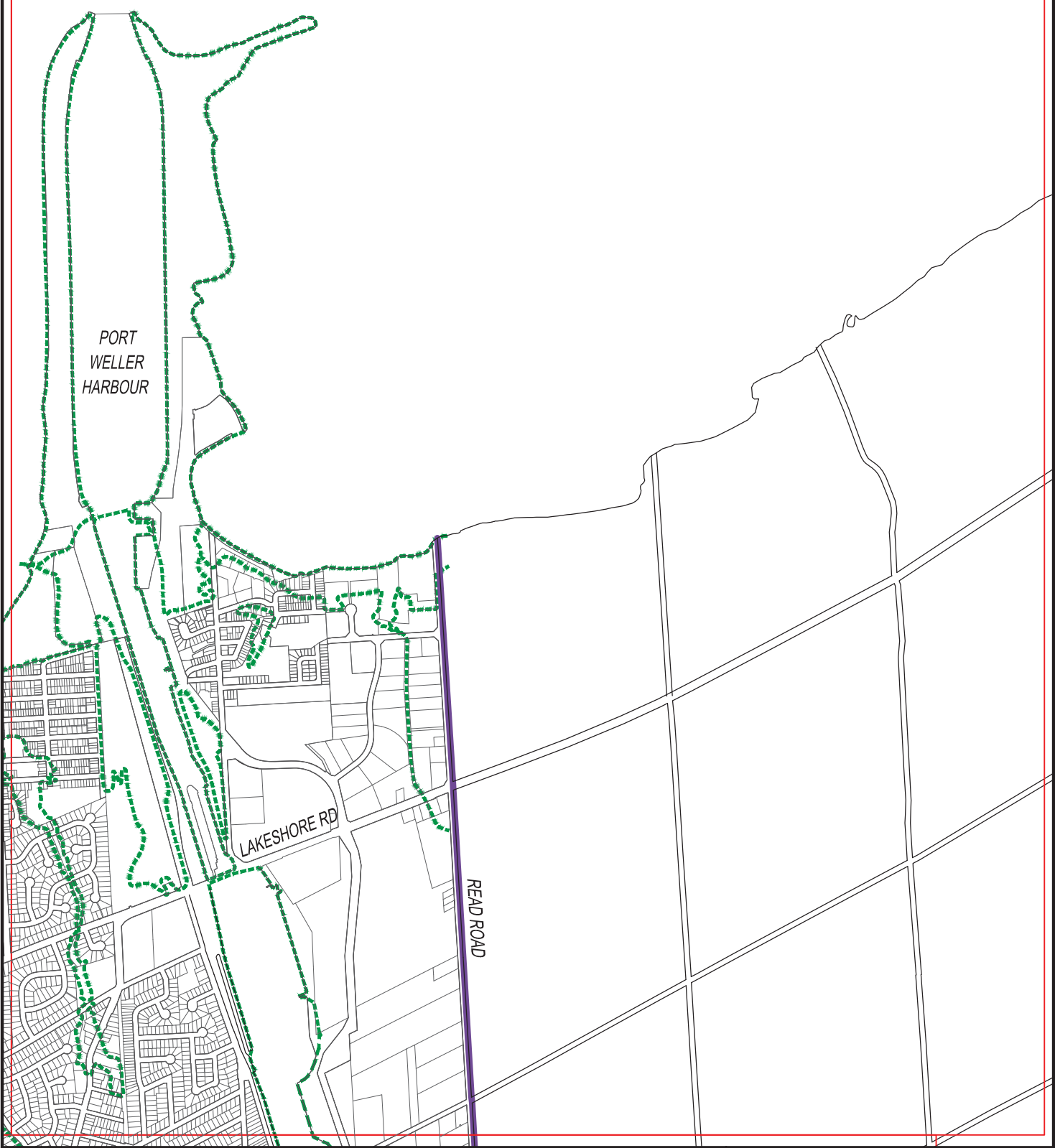
Municipal Boundary





City of
St.Catharines
Zoning By-Law
November 4, 2013



**** This map has been prepared for purposes of convenience only. For accurate reference, refer to specific natural heritage feature and natural hazard land mapping by upper tier government and agencies. ****

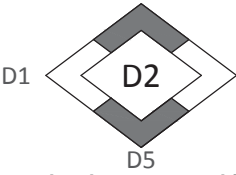


Schedule D - Natural Area Extent Line

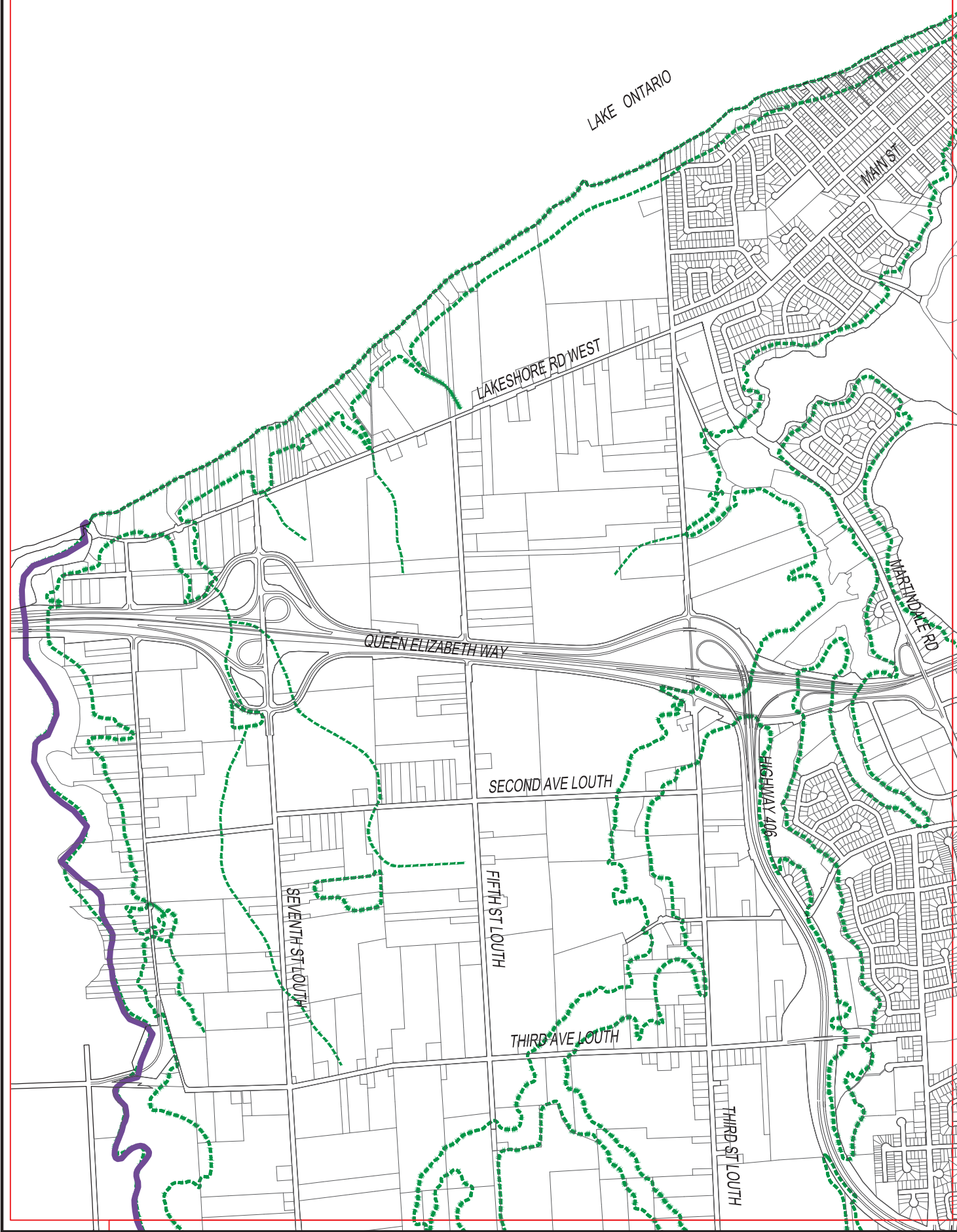
-  Natural Area Extent Line (Represents the extent and limit of currently identified natural heritage features and natural hazard lands by upper tier government and agencies)
-  Municipal Boundary



City of
St.Catharines
Zoning By-Law
November 4, 2013



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Schedule D - Natural Area Extent Line



Natural Area Extent Line (Represents the extent and limit of currently identified natural heritage features and natural hazard lands by upper tier government and agencies)

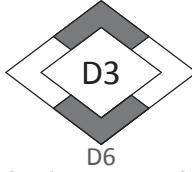


Municipal Boundary

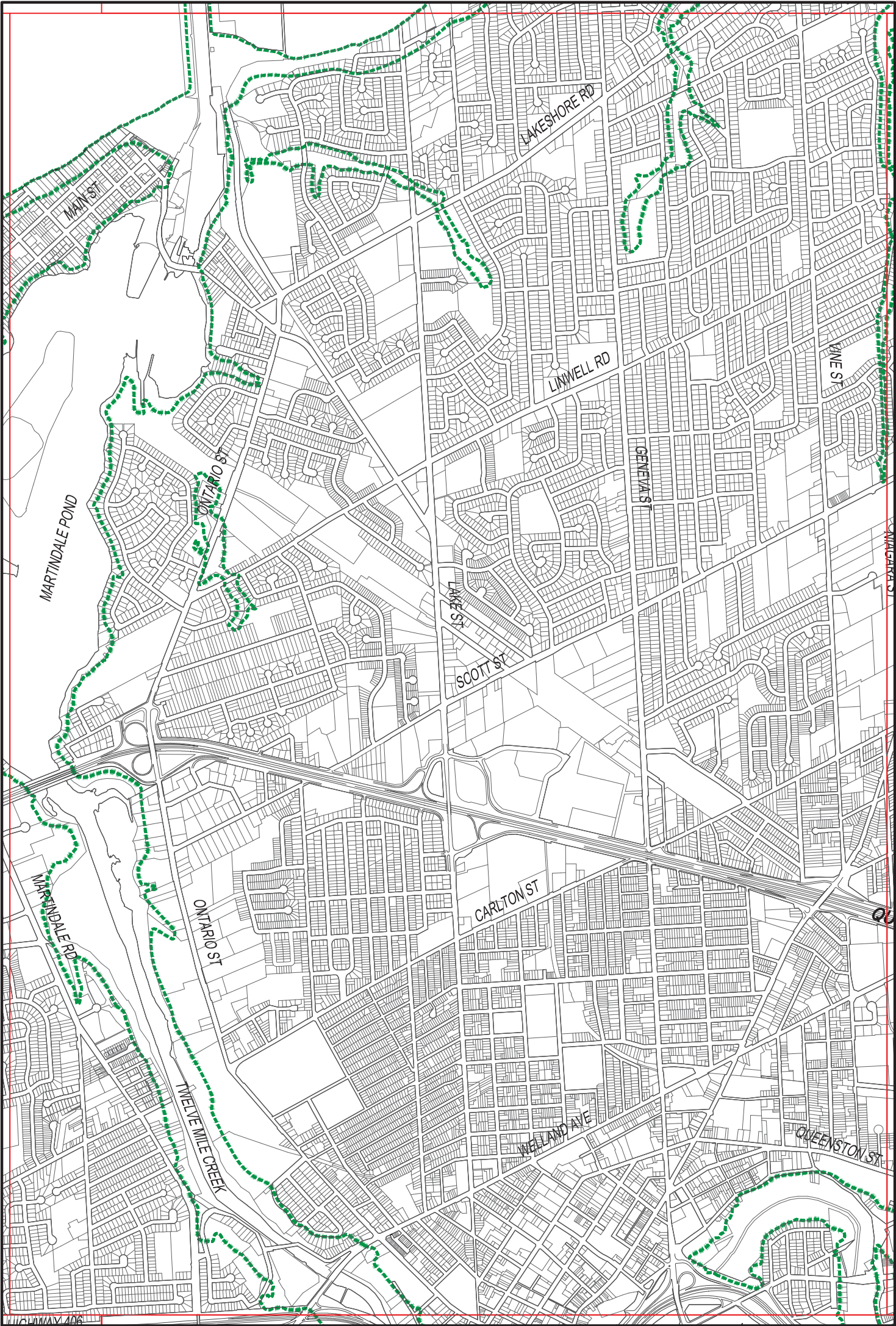


1:20,000


City of St. Catharines
Zoning By-Law
November 4, 2013




*** This map has been prepared for purposes of convenience only. For accurate reference, refer to specific natural heritage feature and natural hazard land mapping by upper tier government and agencies. ***



Schedule D - Natural Area Extent Line

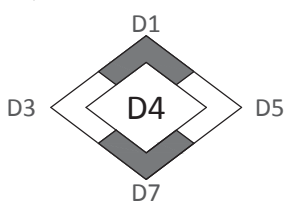
 **Natural Area Extent Line** (Represents the extent and limit of currently identified natural heritage features and natural hazard lands by upper tier government and agencies)

Municipal Boundary

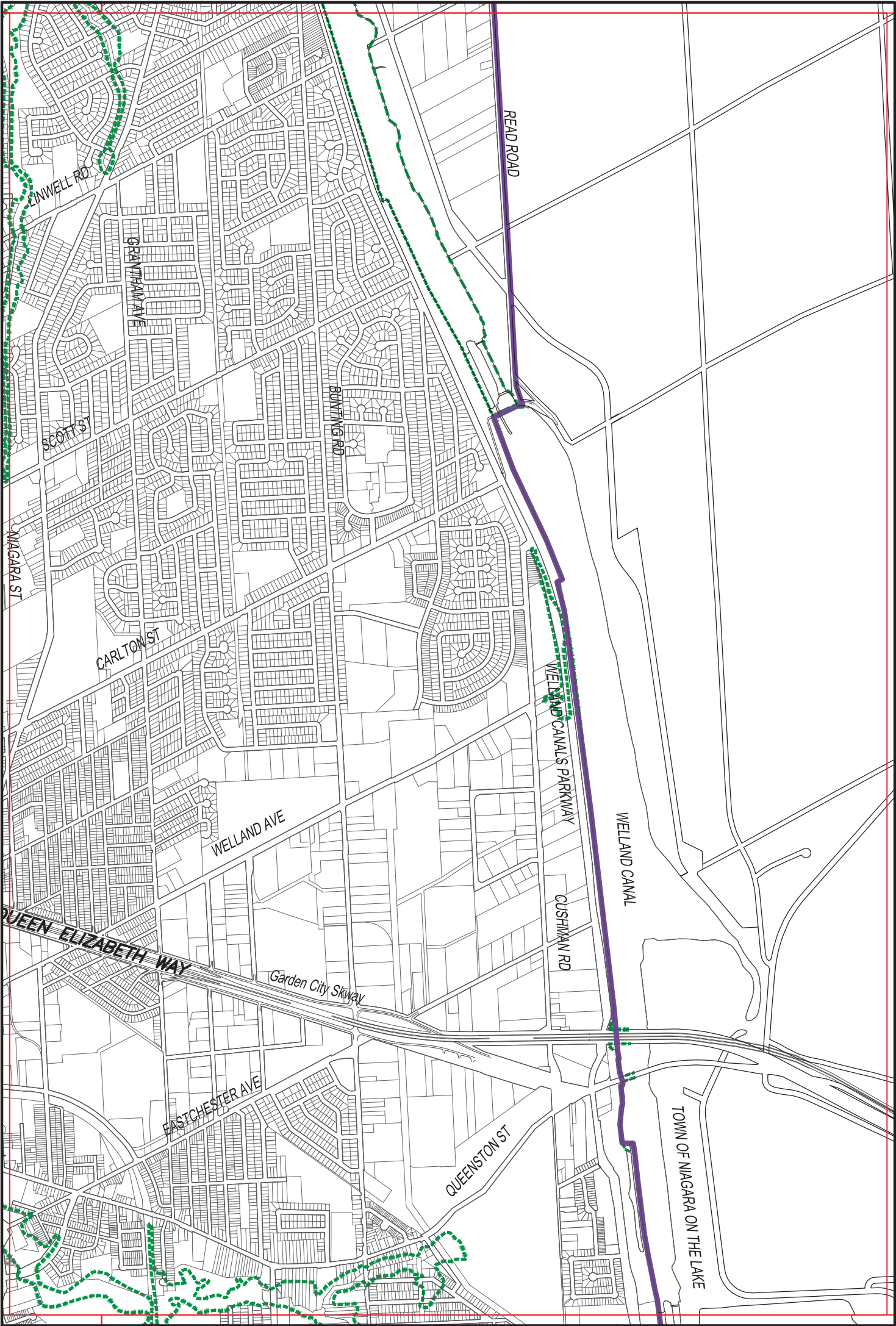


1:20,000


City of
St. Catharines
Zoning By-Law
November 4, 2013




**** This map has been prepared for purposes of convenience only. For accurate reference, refer to specific natural heritage feature and natural hazard land mapping by upper tier government and agencies. ****




Schedule D - Natural Area Extent Line

 Natural Area Extent Line

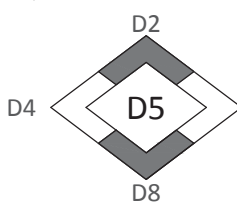
(Represents the extent and limit of currently identified natural heritage features and natural hazard lands by upper tier government and agencies)

 Municipal Boundary



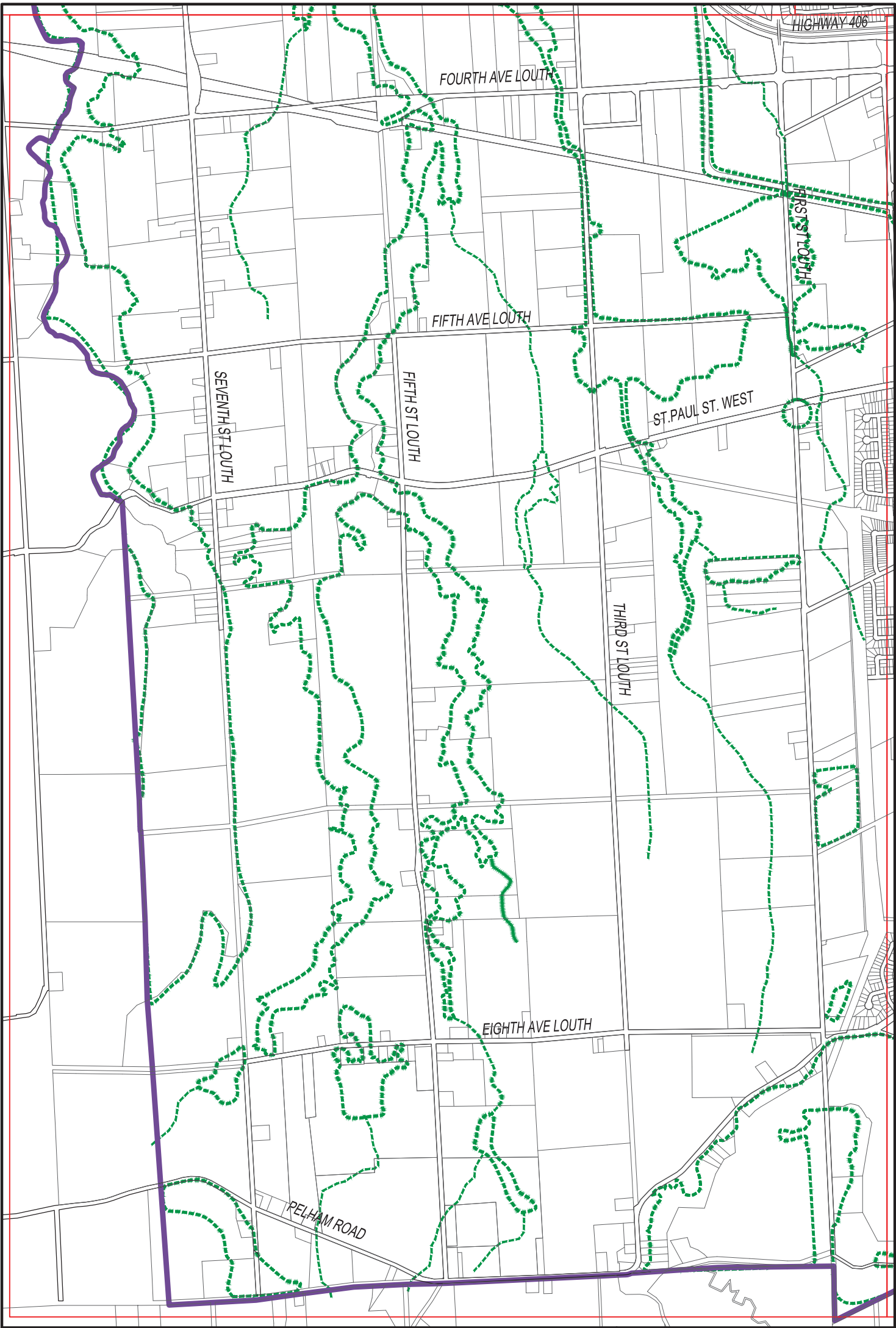
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City of
St.Catharines
Zoning By-Law
November 4, 2013



D2
D4
D5
D8

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Schedule D - Natural Area Extent Line



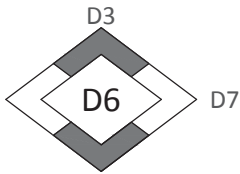
Natural Area Extent Line (Represents the extent and limit of currently identified natural heritage features and natural hazard lands by upper tier government and agencies)



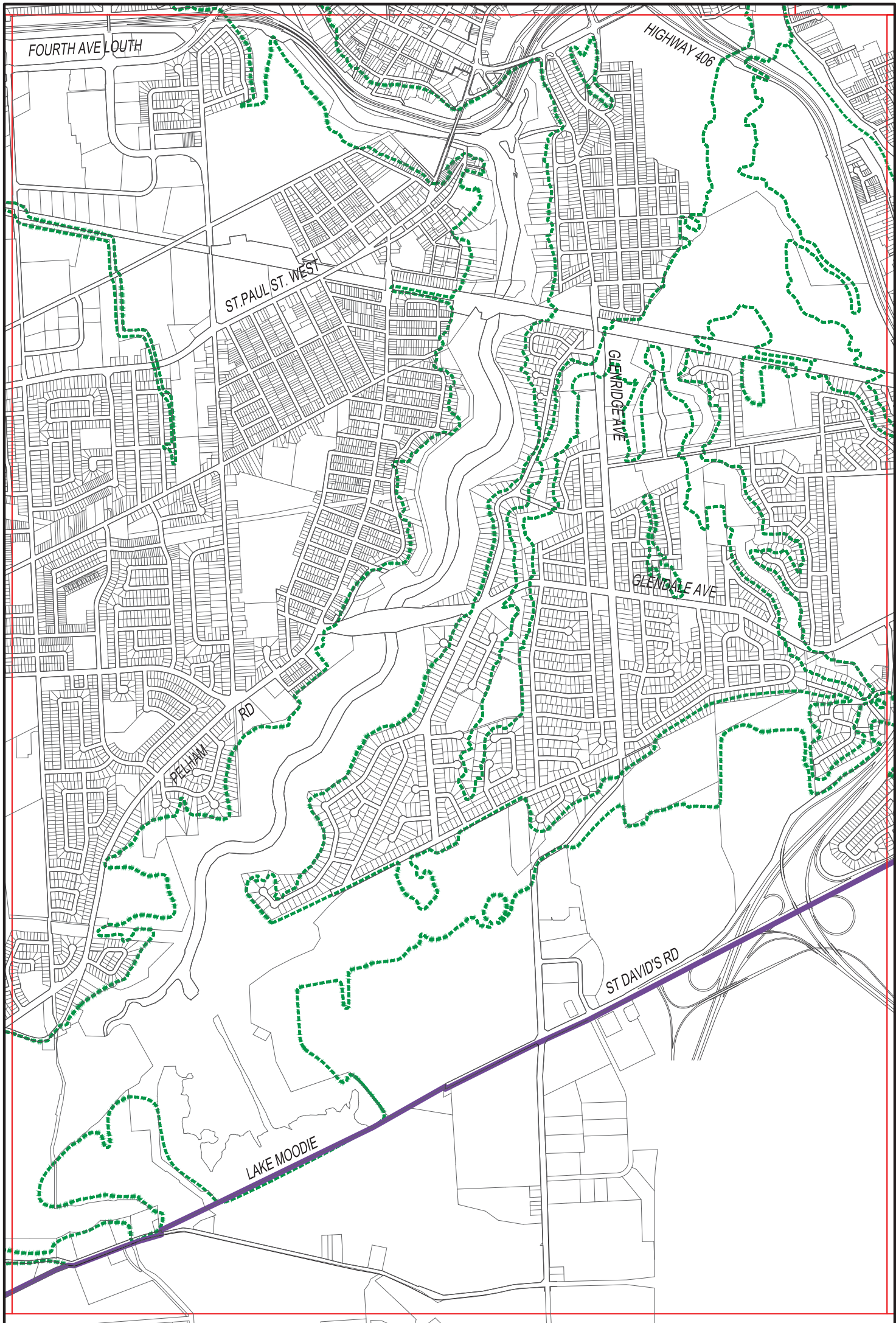
Municipal Boundary





City of St.Catharines
Zoning By-Law
November 4, 2013

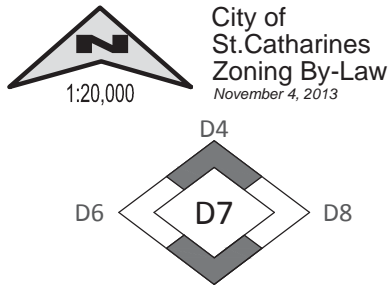


** This map has been prepared for purposes of convenience only. For accurate reference, refer to specific natural heritage feature and natural hazard land mapping by upper tier government and agencies. **



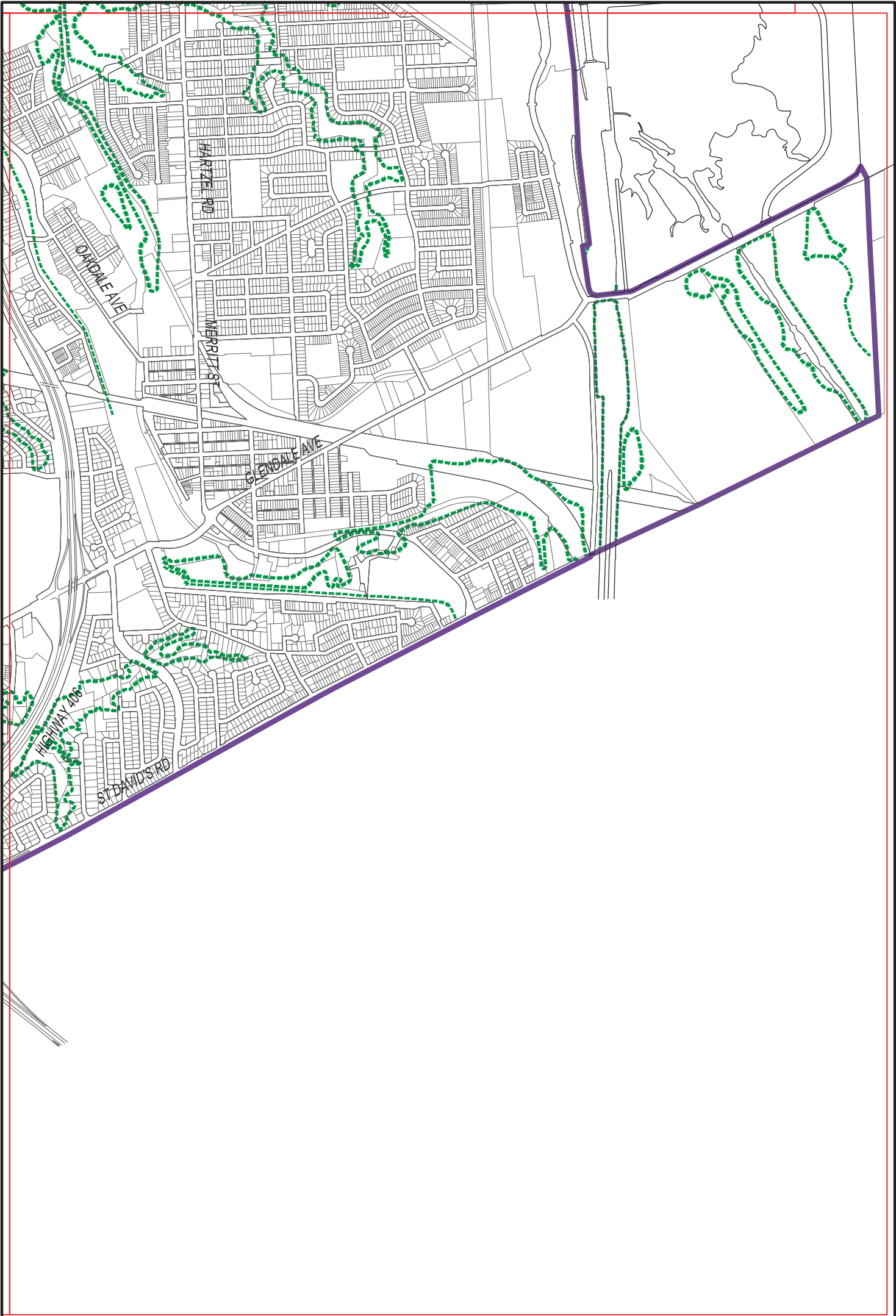
Schedule D - Natural Area Extent Line

-  Natural Area Extent Line (Represents the extent and limit of currently identified natural heritage features and natural hazard lands by upper tier government and agencies)
-  Municipal Boundary




City of St. Catharines
 Zoning By-Law
 November 4, 2013

** This map has been prepared for purposes of convenience only. For accurate reference, refer to specific natural heritage feature and natural hazard land mapping by upper tier government and agencies. **



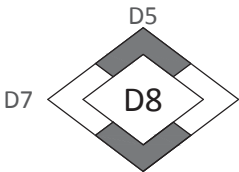
Schedule D - Natural Area Extent Line

 Natural Area Extent Line (Represents the extent and limit of currently identified natural heritage features and natural hazard lands by upper tier government and agencies)

 Municipal Boundary



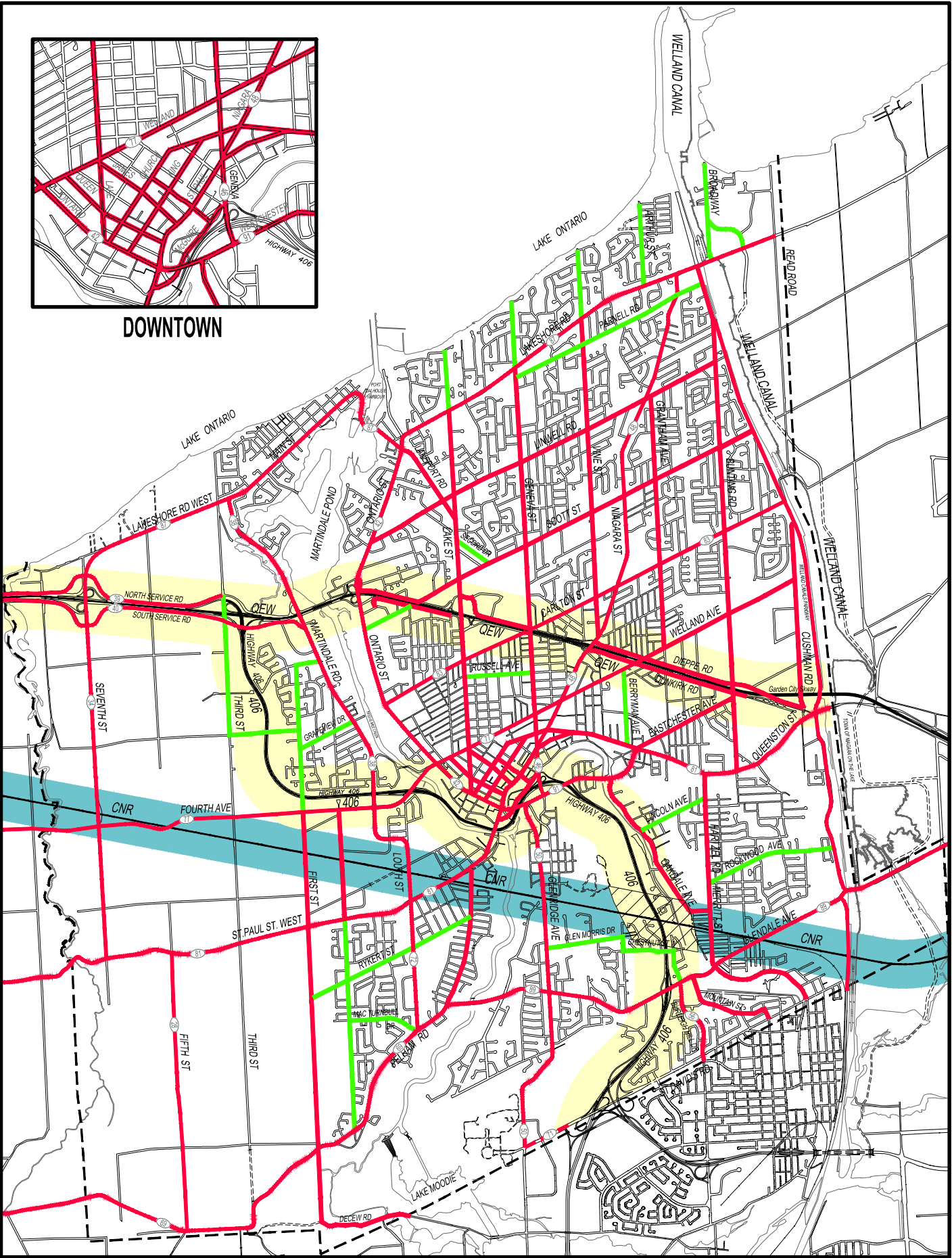
City of
St.Catharines
Zoning By-Law
November 4, 2013



**** This map has been prepared for purposes of convenience only. For accurate reference, refer to specific natural heritage feature and natural hazard land mapping by upper tier government and agencies. ****

SECTION 16 APPENDICES

Appendix	16.1.1 Development Constraints – Transportation
Appendix	16.1.2 Development Constraints – Natural Heritage
Appendix	16.1.3 Development Constraints – Airport Zoning Regulations
Appendix	16.1.4 Development Constraints – Landfill Sites and Livestock Operations
Appendix	16.2.1 Illustration – Sight Triangle
Appendix	16.2.2 Illustration – Lot Frontage on Public Roads
Appendix	16.2.3 Illustration - Height
Appendix	16.2.4 Illustration - Height
Appendix	16.2.5 Illustration – Average Building Line
Appendix	16.2.6 Illustration – Parking Space Dimensions
Appendix	16.2.7 Illustration – Lot Types
Appendix	16.2.8 Illustration – Yard Definitions
Appendix	16.2.9 Illustration – Basement and Storey Definition



Development Constraints - Transportation

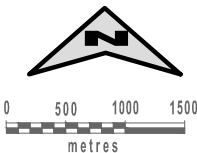
- Arterials
- Collectors
- Provincial 400 Series Highway
- ALL OTHER ROADS IDENTIFIED ARE LOCAL ROADS
- General 400 metre Limit of Provincial Highway Control
- Provincial Highway Control & CN Rail Development Constraints
- General 300 metre Limit of CN Rail Development Constraints

Note: This map has been prepared for purposes of convenience only. For accurate reference, refer to specific agency requirements (See Section 1.1.3)

(For certain development, Provincial Highway Control may extend to 800 metres which is not shown on this Appendix)

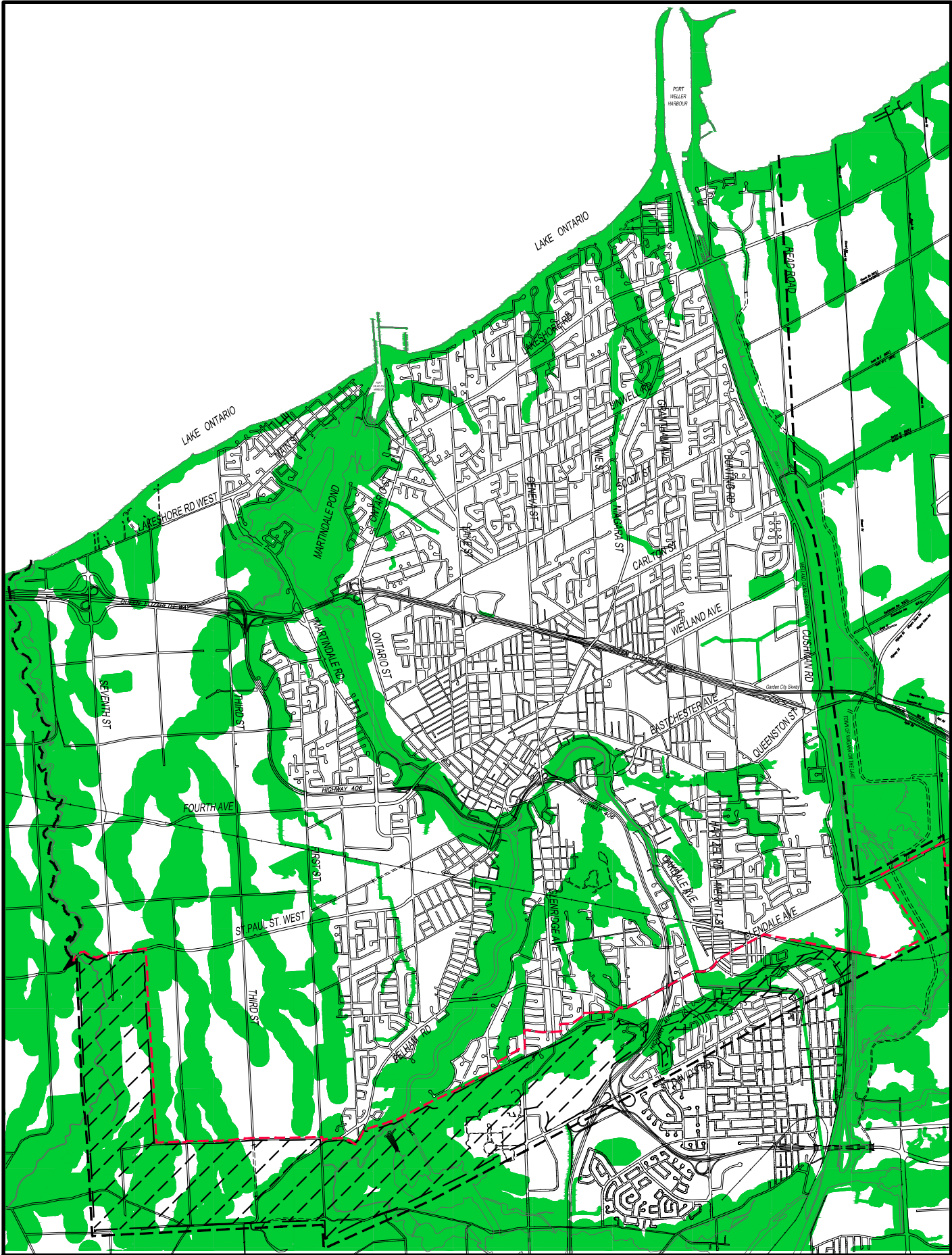
(Development constraints may also apply to Trillium Railways which are not shown on this Appendix)

City of
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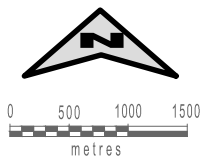


Development Constraints - Natural Heritage

-  Niagara Natural Environment Screening Layer
-  Niagara Escarpment Plan Development Control Area
-  Niagara Escarpment Plan Boundary

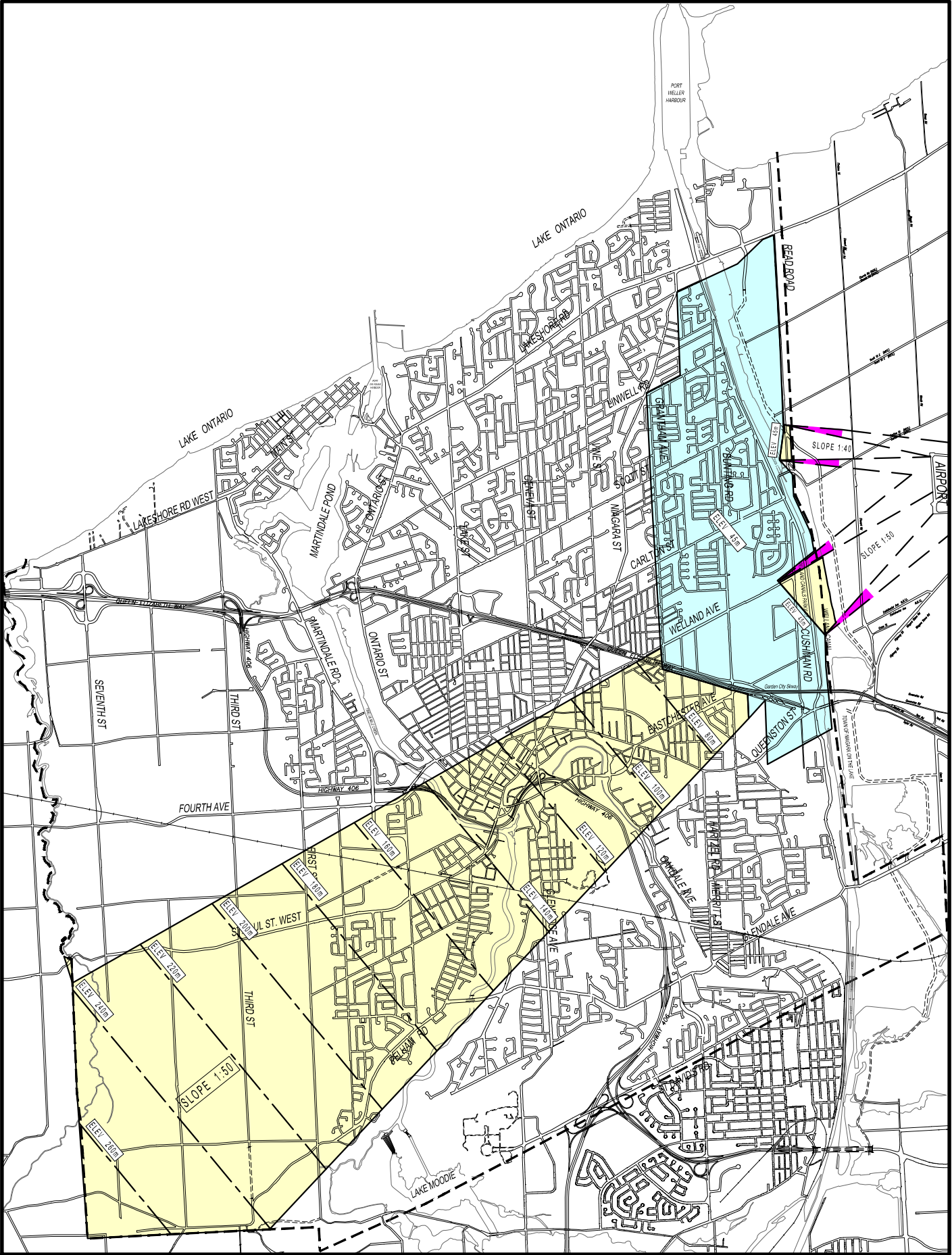
Note: This map has been prepared for purposes of convenience only. For accurate reference, refer to specific agency requirements (See Section 1.1.3)

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APPENDIX 16.1.2

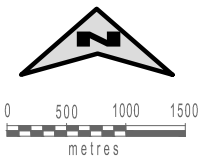
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Development Constraints - Airport Zoning Regulations

- Approach Surface
- Outer Surface
- Transitional Surface

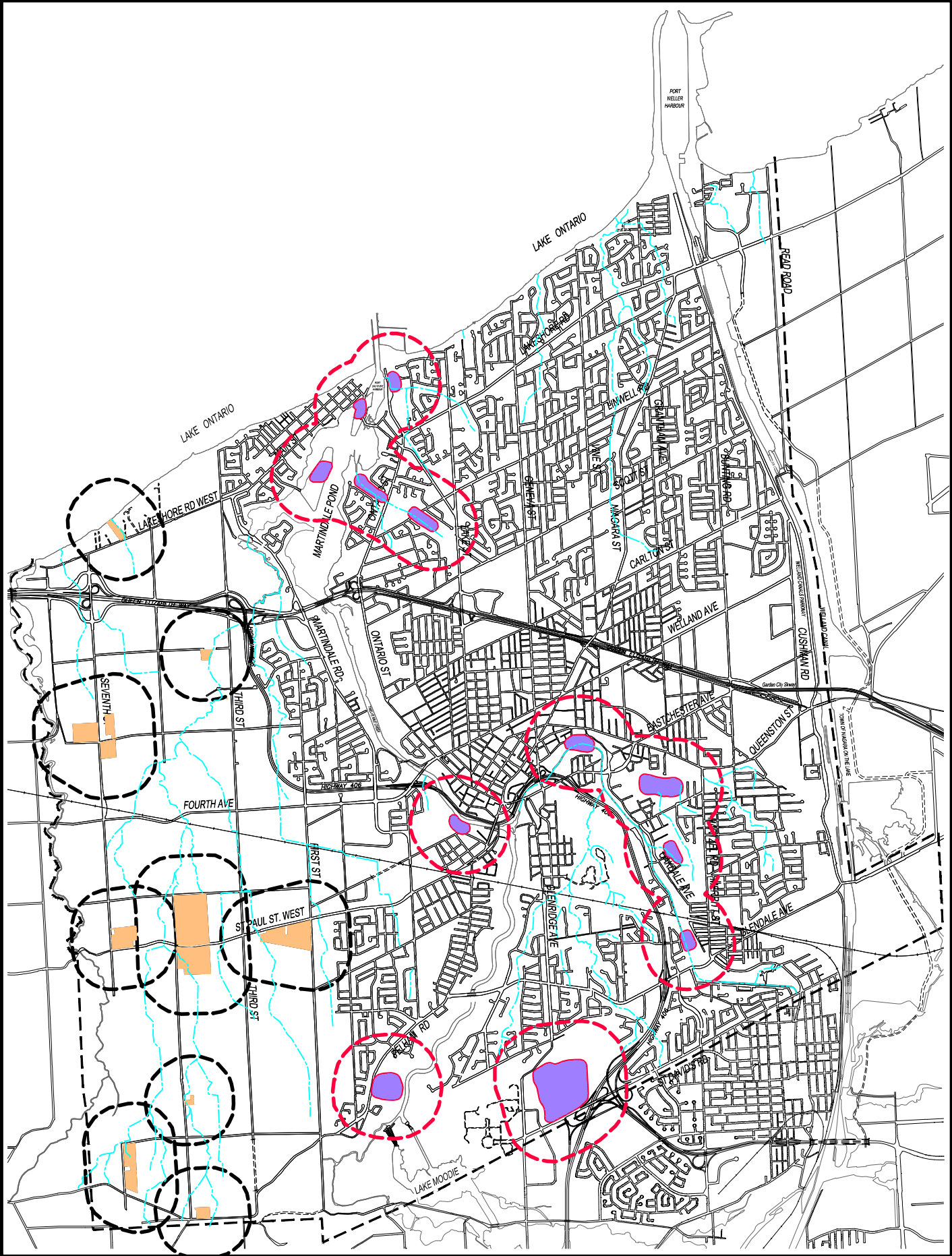
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Note: This map has been prepared for purposes of convenience only. For accurate reference, refer to specific agency requirements (See Section 1.1.3)

APPENDIX 16.1.3

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Development Constraints - Landfill Sites and Livestock Operations

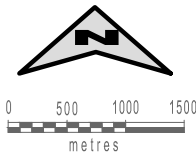
FORMER KNOWN LANDFILL SITES
DASH INDICATES 500m RADIUS FROM SITE

KNOWN LIVESTOCK OPERATIONS 2002
DASH INDICATES 500m RADIUS OF POTENTIAL INFLUENCE

** New land uses, and new or expanding livestock facilities shall comply with the Minimum Distance Separation formulae.*

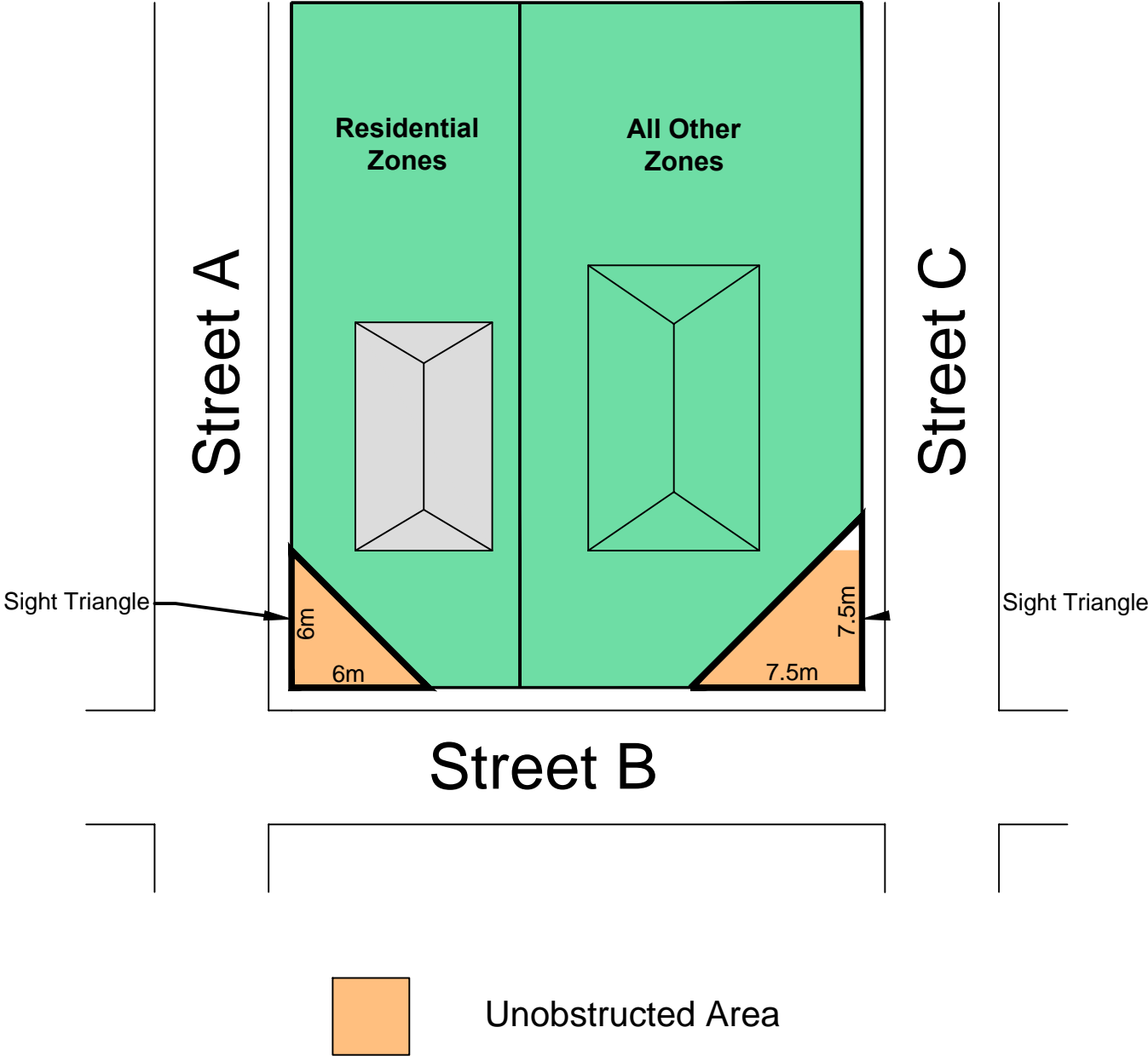
Note: This map has been prepared for purposes of convenience only. For accurate reference, refer to specific agency requirements (See Section 1.1.3)

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APPENDIX 16.1.4

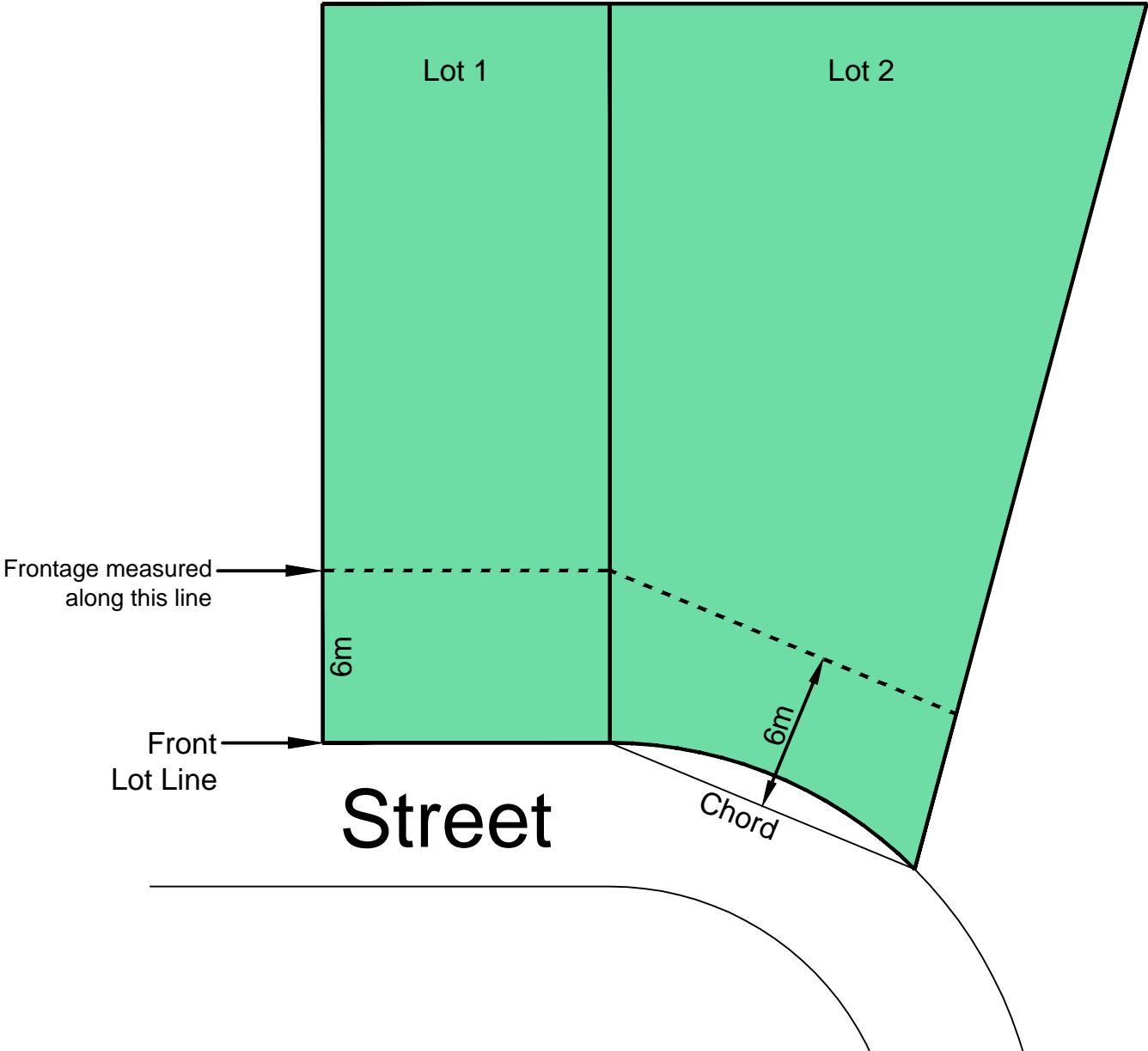
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Sight Triangle
(Section 2.5)

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- Lot 1 Frontage is measured 6m back from front lot line and parallel to front lot line.
- Lot 2 Frontage is measured 6m back from the chord and parallel to the chord of the front lot line.
- The chord is the straight line that connects the points of intersection of the front and side lot lines on either side of the land parcel.

Lot Frontage on Public Roads
(Section 2.6)

City of St.Catharines
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APPENDIX 16.2.2

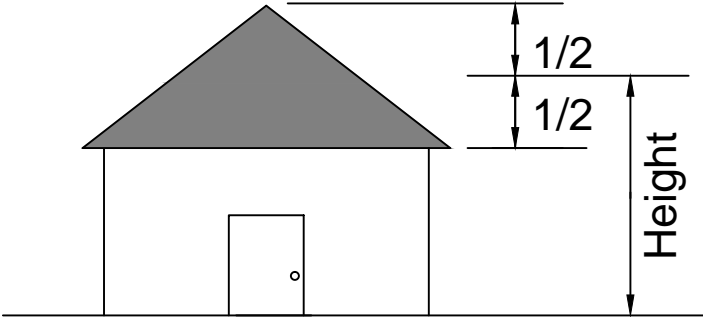
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Principal Buildings

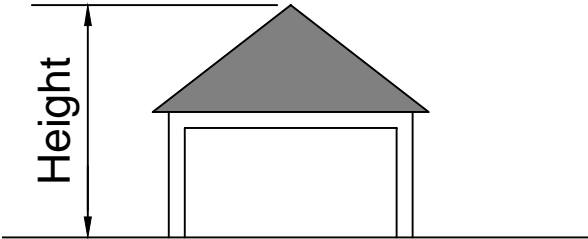
Accessory Buildings and Structures

Pitched Roof



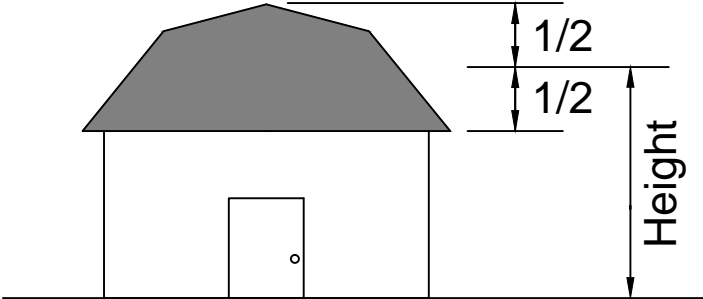
Principal Entrance

Grade



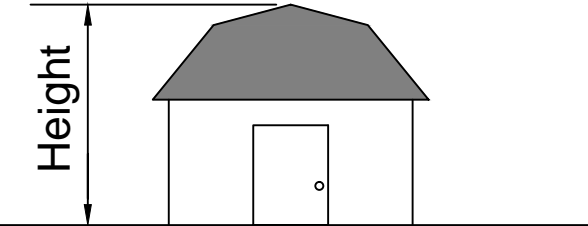
Principal Entrance

Pitched Roof



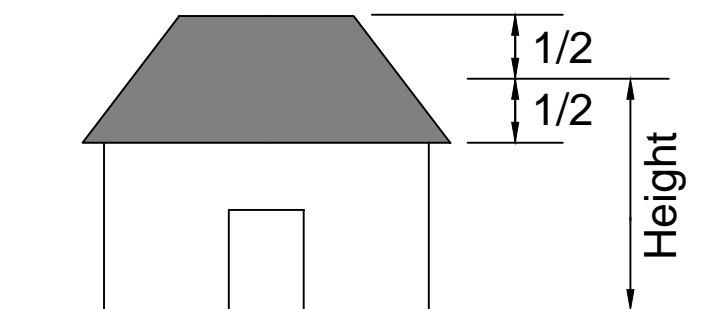
Principal Entrance

Grade



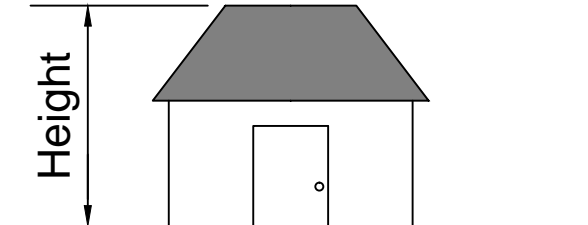
Principal Entrance

Pitched Roof



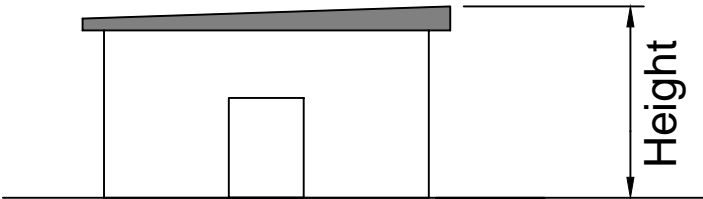
Principal Entrance

Grade



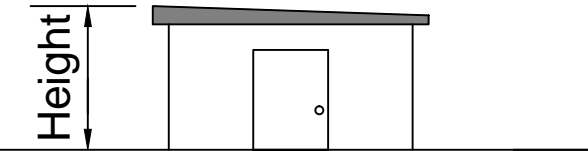
Principal Entrance

Flat Roof



Principal Entrance

Grade



Principal Entrance

Height
(Section 2.7)
Residential Zones

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APPENDIX 16.2.3

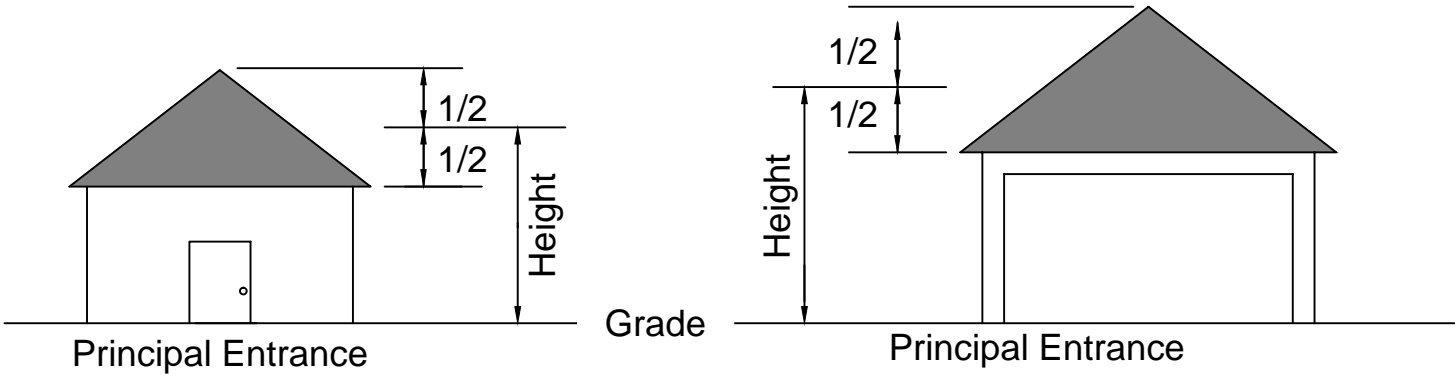
November 4, 2013

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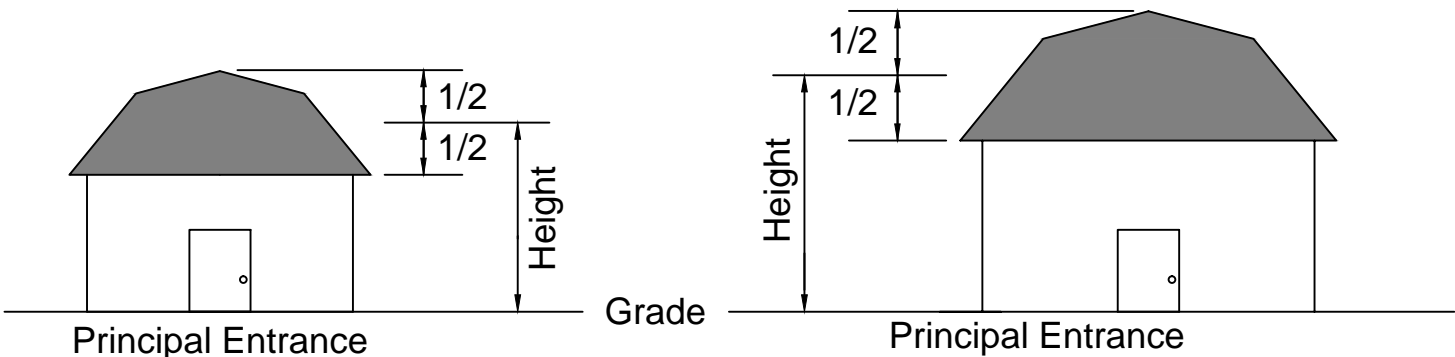
Principal Buildings

Accessory Buildings and Structures

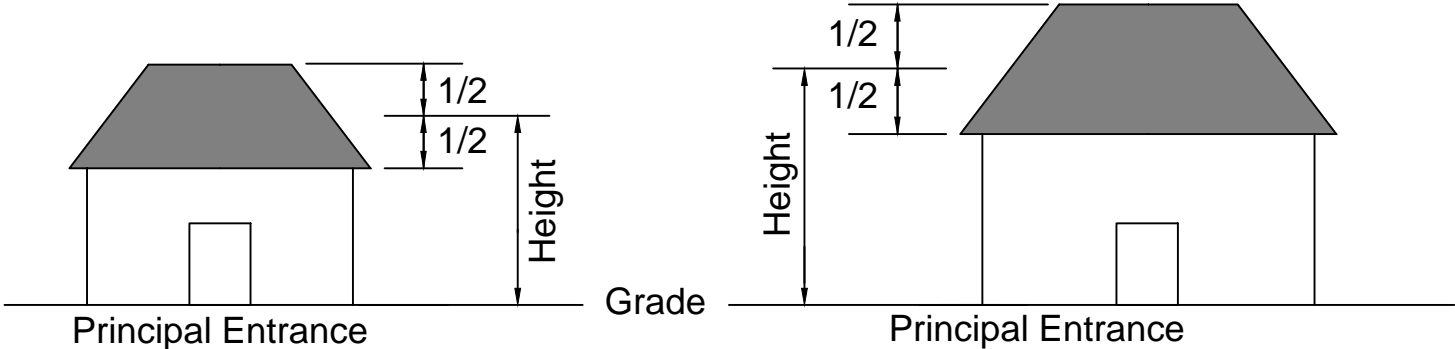
Pitched Roof



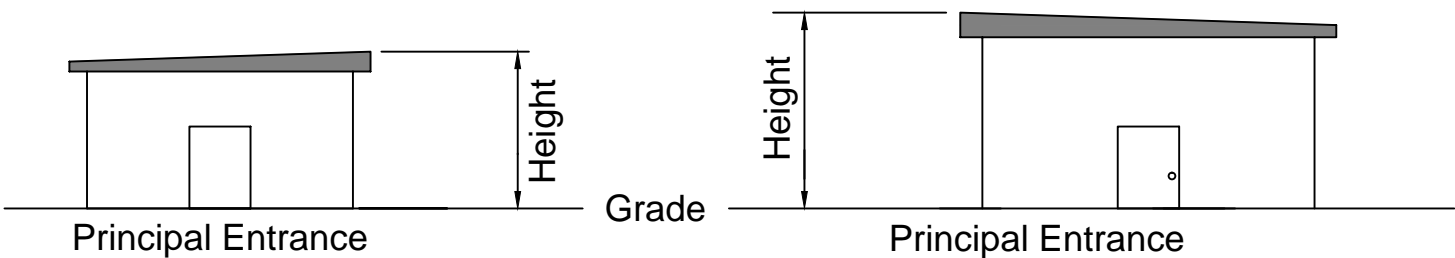
Pitched Roof



Pitched Roof



Flat Roof



Height
(Section 2.7)

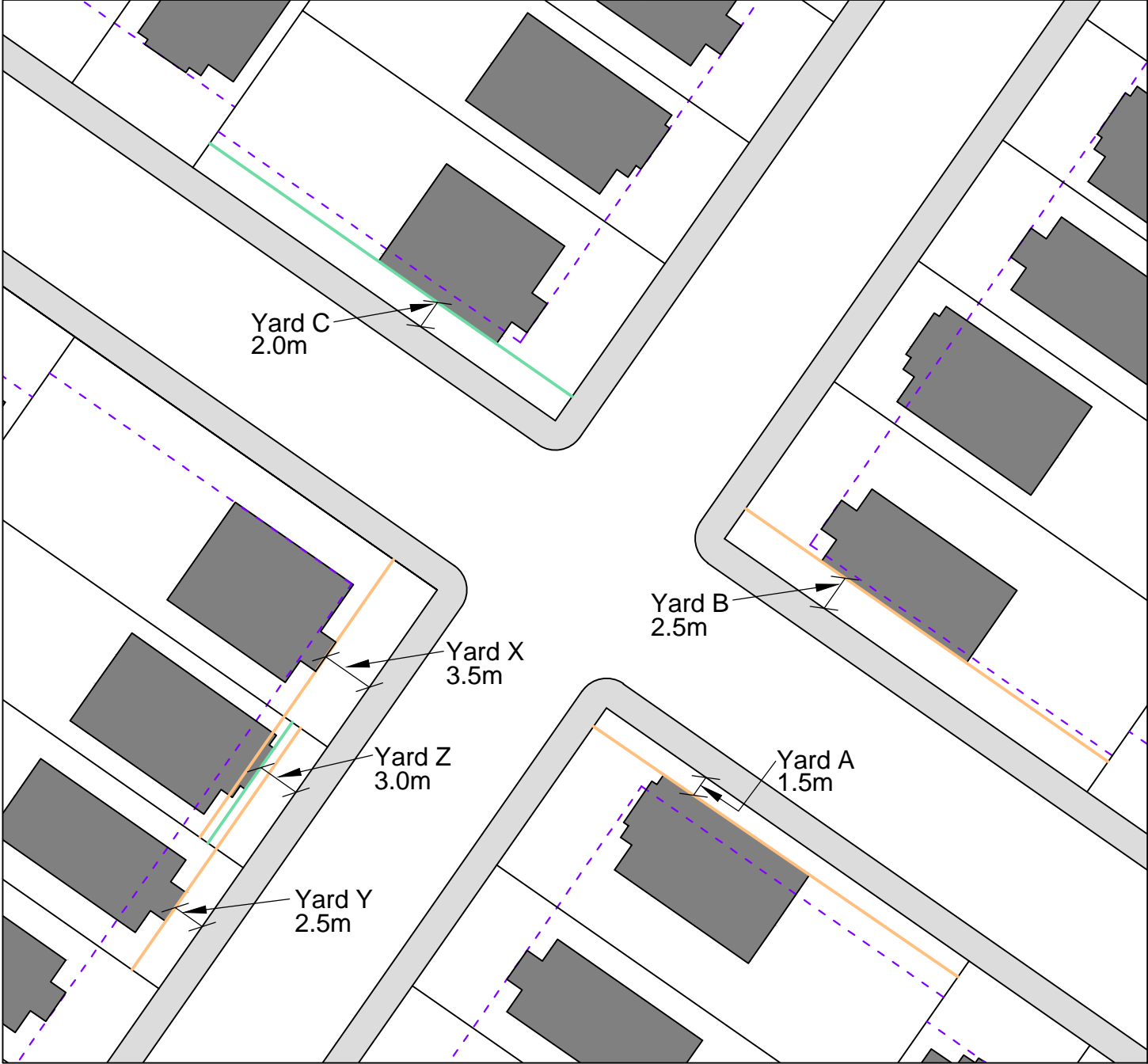
All Zones Other Than Residential Zones

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APPENDIX 16.2.4

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- Minimum Yard
- Established Yard
- Average Yard

$$\text{Yard C} = \frac{\text{Yard A} + \text{Yard B}}{2}$$

$$\text{Yard Z} = \frac{\text{Yard X} + \text{Yard Y}}{2}$$

Average Building Line (Section 2.17)

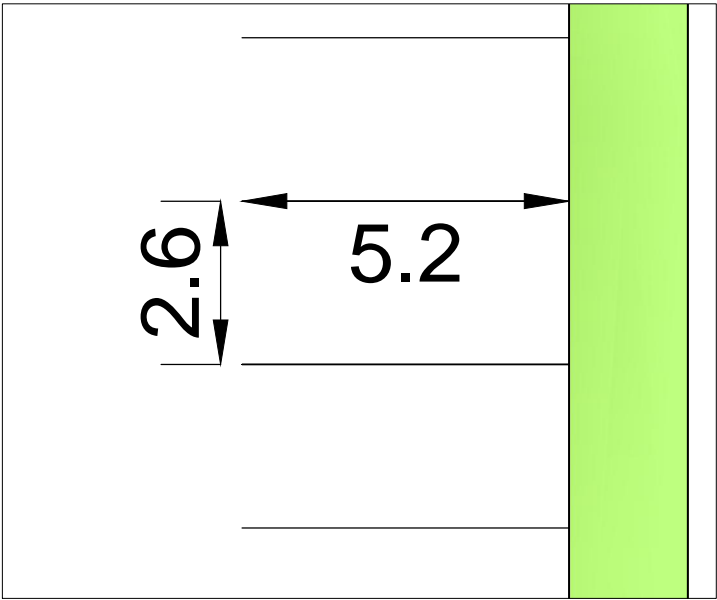
City of St.Catharines
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APPENDIX 16.2.5

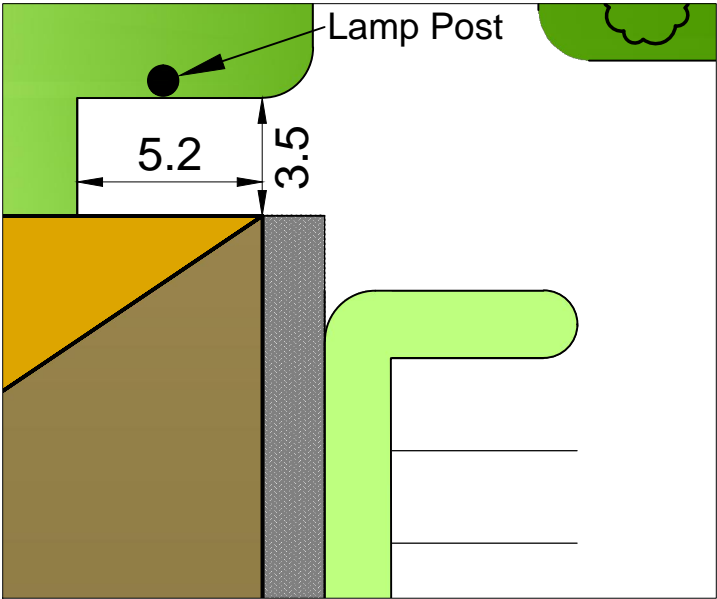
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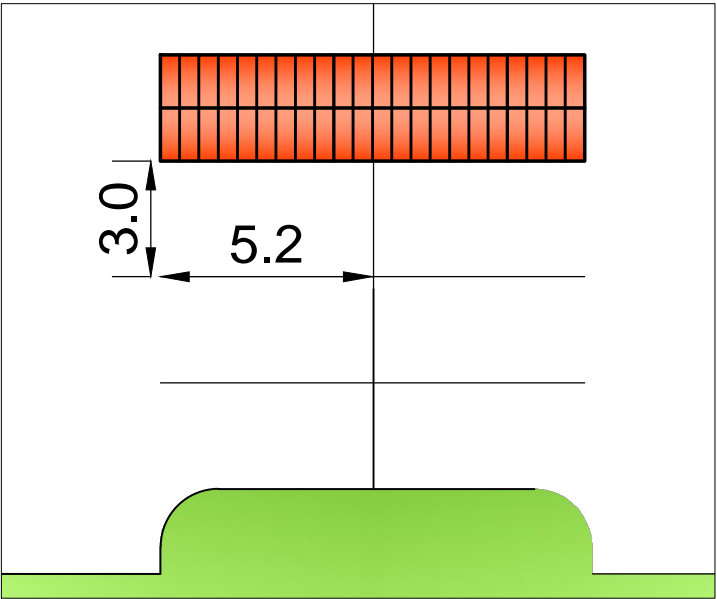
Standard Parking Space



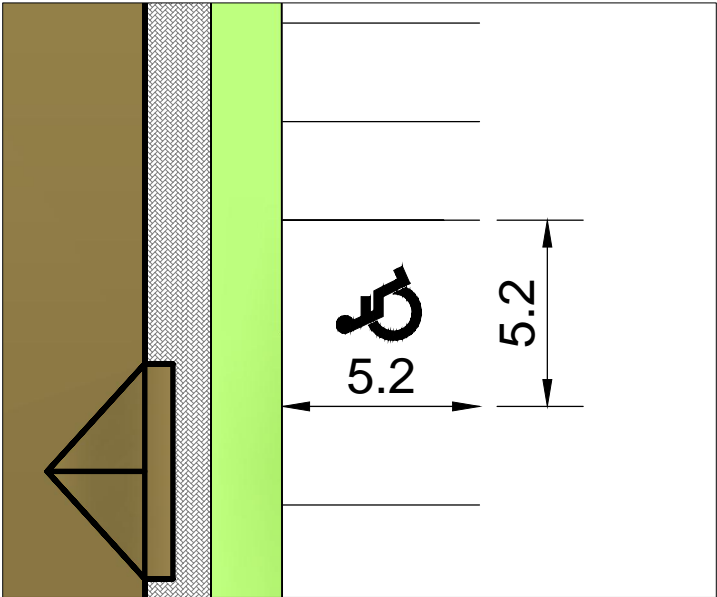
Standard Parking Space
Obstructed on Two Sides



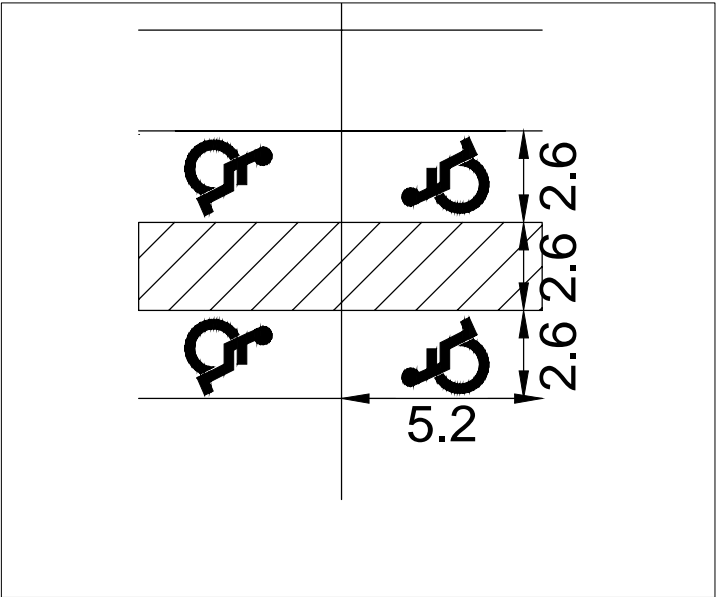
Standard Parking Space
Obstructed on One Side



Accessible Space



Two (2) Accessible Spaces
Side by Side



All distances are in metres.

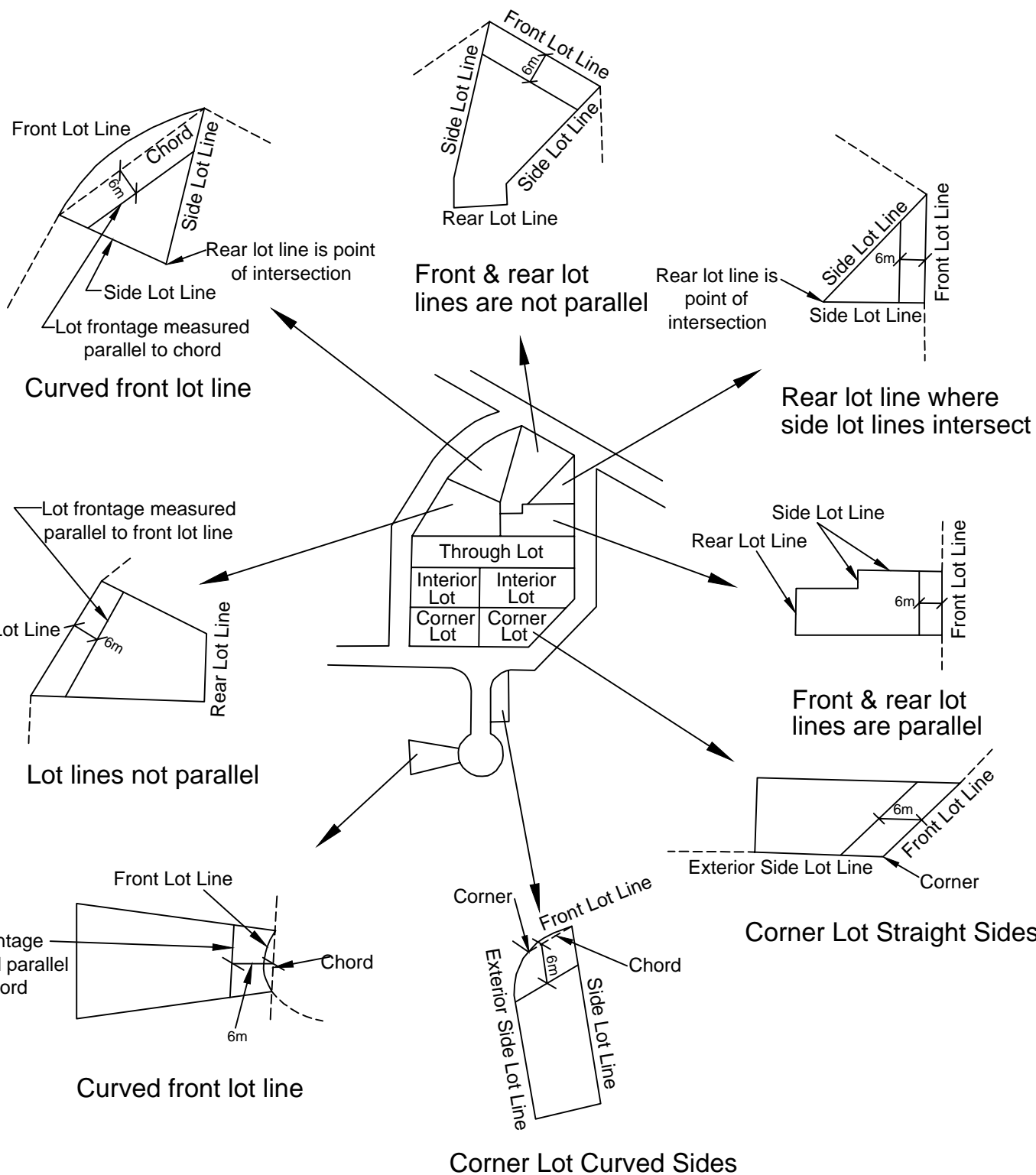
Parking Space Dimensions
(Section 3.7)

City of St.Catharines
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APPENDIX 16.2.6

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Lot Types (Section 12)

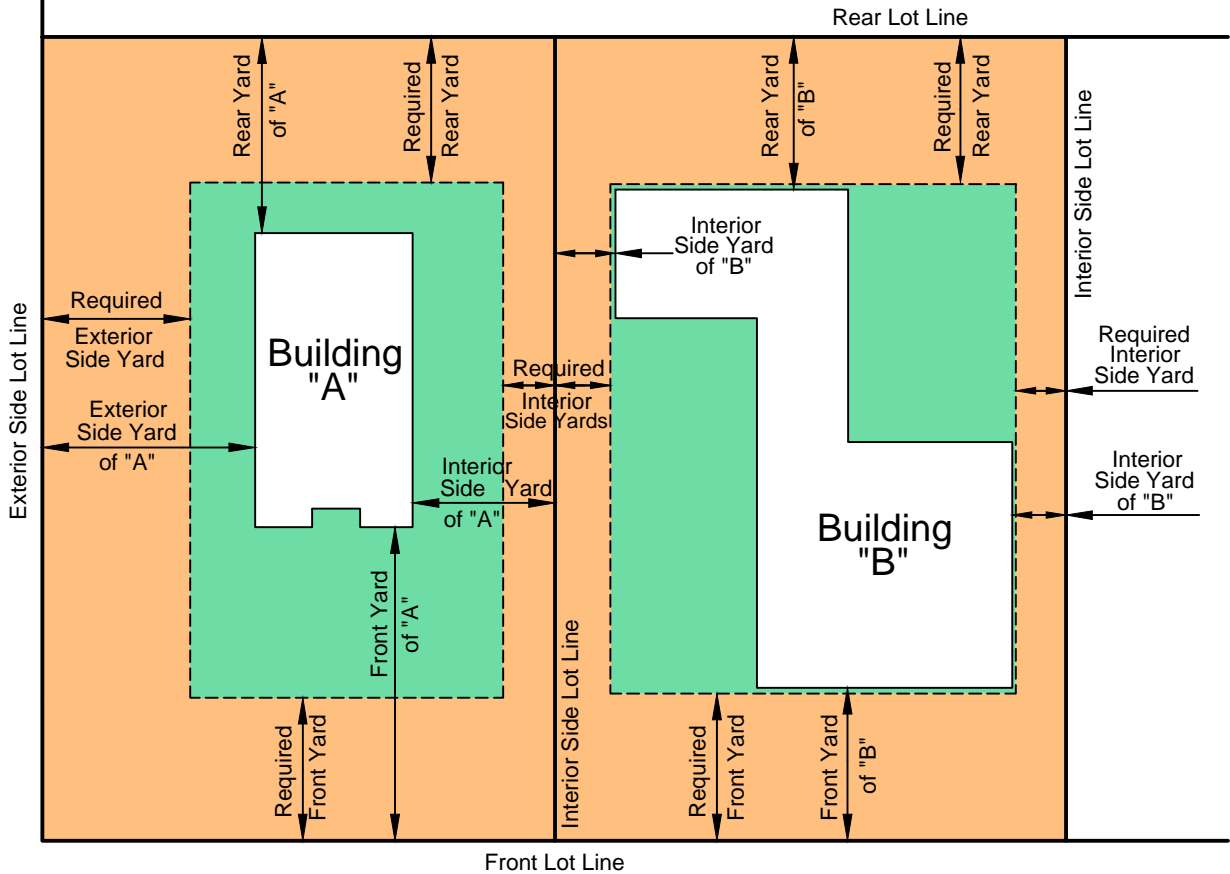
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APPENDIX 16.2.7

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Street B



-  Minimum Yards Required by By-Law
-  Building Envelope

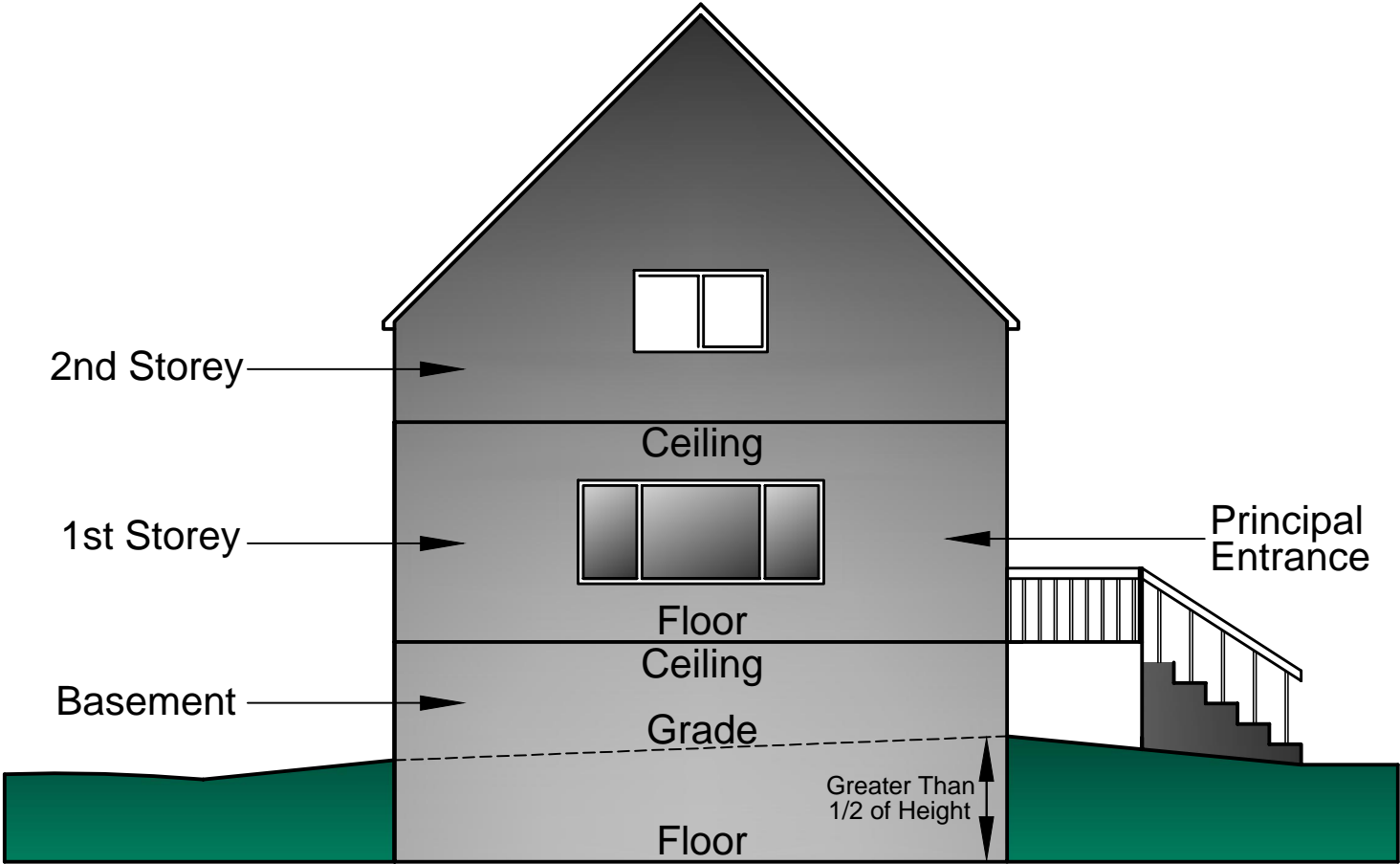
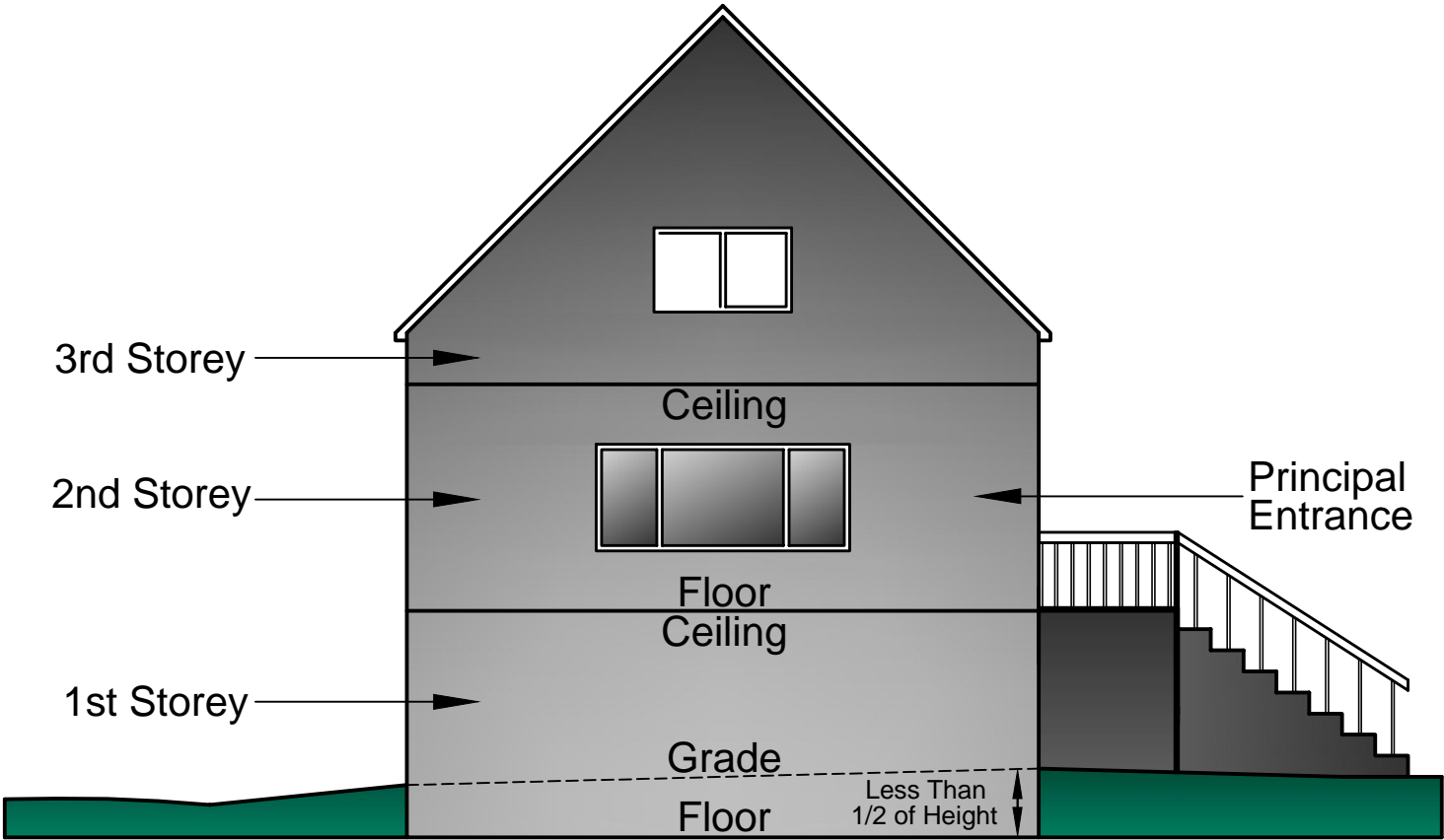
Yard Definitions (Section 12)

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APPENDIX 16.2.8

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Basement and Storey Definitions
(Section 12)

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APPENDIX 16.2.9

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